

0m

DISCLOSURE PLAN

For Lot **400** (on SP290617) Jim Davidson Boulevard. Belivah Road

Sheet of 2

BELIVAH, OLD

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan. This plan has been prepared for Davidsons At Belivah for the purposes of a Disclosure Plan under the Land Sales Act 1984

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AUTHORISATION:

NH Volker and Co Pty Ltd.

Neville Henry VOLKER Cadastral Surveyor

Sheet

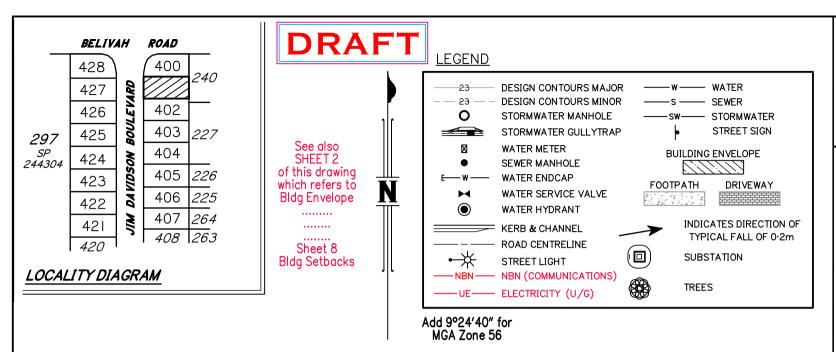
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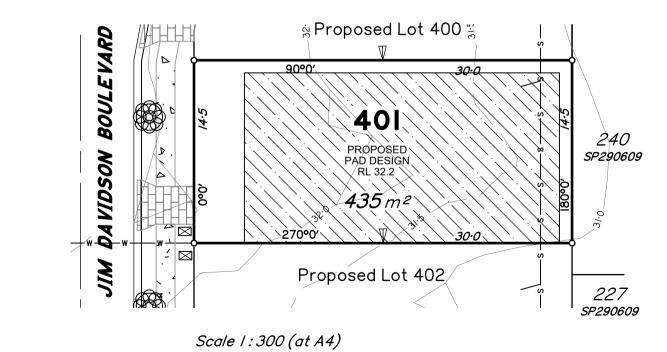
25/08/25 SURVEYED DATE SCALE 1:300 (A4) DRAWN BD25177 LEVEL A.H.D CHECKED NHV DATUM

CONTOUR INTERVAL 0.5m



DAVIDSONS AT BELIVAH BUILDING ENVELOPE PLAN STAGE 4C SETBACKS (unless notified otherwise) LOT WIDTH STREET 14m - 20m < 14m > 20m SETBACK GROUND GROUND UPPER GROUND UPPER PRIMARY 4m 4.5m 4.5m 3m 4m BELIVAH ROAD STREET SCALE: 1:750 @ A3 SECONDARY 2m 2m 2m 2m 2m STREET 400 SIDE & REAR 428 1m 1m 1.5m 1.5m 2m SETBACK ∇ NOTES: 1. SETBACKS ARE MEASURED TO THE BUILDING WALL. 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO. 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 401 427 ∇ 15m FOR A VERANDAH PORCH COVERED FIRST ∇ FLOOR BALCONY OR ENTRY PORTICO. 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE 402 426 ∇ BOULEVARD 403 425 ∇ NO VEHICLE ACCESS ∇ DAVIDSON 404 DEVELOPMENT ENVELOPE 424 **BUILD TO BOUNDARY** 405 226 STAGE BOUNDARY 423 ∇ ∇ PRIMARY STREET FRONTAGE 406 225 422 ∇ STAGE 4C STATISTICS ∇ LOT SIZE % NO. 407 G.T. 500m² 0 0 NOTES: 421 ∇ 400-500m² 1. THIS SHEET MUST READ IN CONJUCTION WITH 100 16 PLAN No. DB-4-ABC SHEET 9 of 9 V1 300-400m² 0 0 408 263 L.T. 300m² 2. AVAILABLE BUILD AREA MAY BE REDUCED BY 420 **EASEMENTS AND OTHER INFRASTRUCTURE** TOTAL 16 100 PROJECT : DAB - STAGES 40 Job No. - DB-4-ABC DATE: 26/11/2024 **PROPOSED LOTS** CLIENT: BELIVAH PTY. LTD. N H VOLKER & Co. PTY, LTD. DRAWN: BD LOCATION: JIM DAVIDSON BLVD, P O Box 411 400-407 & 421-428 EMAIL: nvolker@bigpond.net.au BELIVAH BELIVAH EMAIL: nvolker@bigpond.net.au PH: 0411 759 765 **REVISION. - V1**





30m

15m

0m

Sheet of 2

45m

DISCLOSURE PLAN
For Lot **401** (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Sheet 1/1/5708 of 2

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

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AUTHORISATION:

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Neville Henry VOLKER Cadastral Surveyor

Date:

 DATE
 25/08/25
 SURVEYED

 SCALE
 1:300 (A4)
 DRAWN
 BD25177

 LEVEL DATUM
 A.H.D
 CHECKED
 NHV

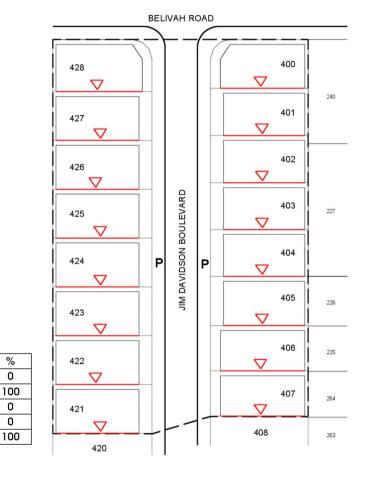
CONTOUR INTERVAL 0.5m



DAVIDSONS AT BELIVAH **STAGE 4C**



SCALE: 1:750 @ A3



SETBACKS	(unless notified otherwise)							
		LOT WIDTH						
STREET	< 14m	14m	-20m	> 20m				
SETBACK	GROUND & UPPER	GROUND UPPER		GROUND	UPPER			
PRIMARY STREET	3m	4m	4m	4.5m	4.5m			
SECONDARY STREET	2m	2m	2m	2m	2m			
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m			

NOTES:

1. SETBACKS ARE MEASURED TO THE
BUILDING WALL.

2. FRONT SETBACK MAY BE REDUCED 1.5M FOR
VERANDAH ENTRY TO PATIO.

3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

SECOND AS PROMUDAL PROPEL CAMEROE LIGHT

15m FOR A VERANDAH PORCH COVERED FIRST

FLOOR BALCONY OR ENTRY PORTICO.

4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS

BUILD TO BOUNDARY

DEVELOPMENT ENVELOPE

STAGE BOUNDARY

PRIMARY STREET FRONTAGE

NOTES:

- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



N H VOLKER & Co. PTY, LTD. P O Box 411 BELIVAH EMAIL: nvolker@bigpond.net.au

NO.

0

16

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%

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STAGE 4C STATISTICS

LOT SIZE

G.T. 500m²

400-500m²

300-400m²

L.T. 300m²

TOTAL

CLIENT: BELIVAH PTY. LTD.

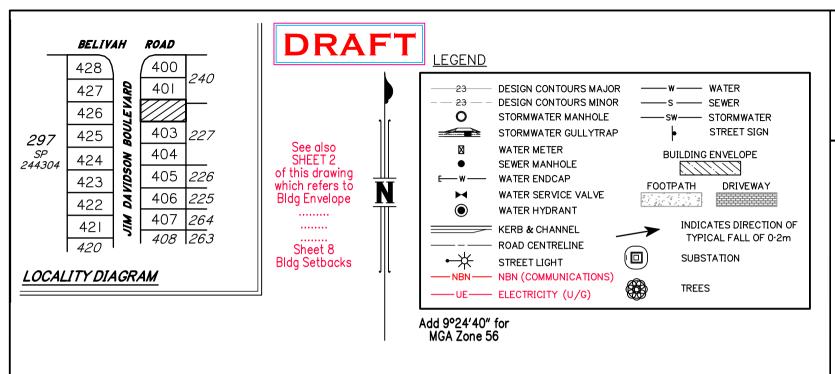
PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 40 LOCATION: JIM DAVIDSON BLVD,

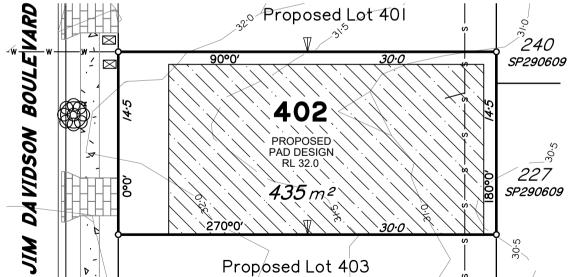
BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au PH: 0411 759 765 **REVISION. - V1**





Scale I:300 (at A4)

0m

15m 30m 45m

DISCLOSURE PLAN

For Lot **402** (on SP290617) Jim Davidson Boulevard BELIVAH, OLD Sheet 1/15208 of 2

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

NH Volker and Co Pty Ltd.

Neville Henry VOLKER Cadastral Surveyor Date:

 DATE
 25/08/25
 SURVEYED
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 SCALE
 1:300 (A4)
 DRAWN
 BD25177

 LEVEL DATUM
 A.H.D
 CHECKED
 NHV

CONTOUR INTERVAL 0.5m



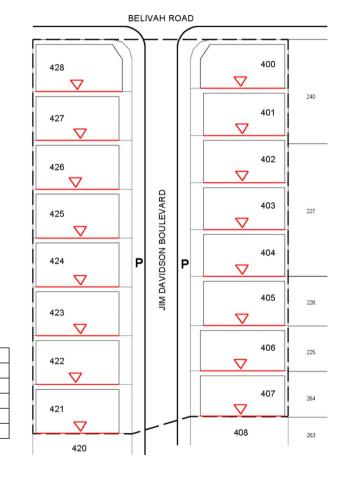
DRAWING NO: BLV019_DP 402

Sheet of 2

DAVIDSONS AT BELIVAH **STAGE 4C**



SCALE: 1:750 @ A3



SETBACKS	(unless notified otherwise)						
	LOT WIDTH						
STREET	< 14m	14m	-20m	> 20m			
SETBACK	GROUND & UPPER	GROUND UPPER		GROUND	UPPER		
PRIMARY STREET	3m	4m	4m	4.5m	4.5m		
SECONDARY STREET	2m	2m	2m	2m	2m		
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m		

NOTES:

1. SETBACKS ARE MEASURED TO THE
BUILDING WALL.

2. FRONT SETBACK MAY BE REDUCED 1.5M FOR
VERANDAH ENTRY TO PATIO.

3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

SECOND AS PROMUDAL PROPEL CAMEROE LIGHT

15m FOR A VERANDAH PORCH COVERED FIRST

FLOOR BALCONY OR ENTRY PORTICO.

4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS

DEVELOPMENT ENVELOPE

BUILD TO BOUNDARY

STAGE BOUNDARY

PRIMARY STREET FRONTAGE

NOTES:

- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



N H VOLKER & Co. PTY, LTD. P O Box 411 BEENLEIGH QLD 4207 BELIVAH EMAIL: nvolker@bigpond.net.au

NO.

0

16

16

STAGE 4C STATISTICS

LOT SIZE

G.T. 500m²

400-500m²

300-400m²

L.T. 300m²

TOTAL

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 40 LOCATION: JIM DAVIDSON BLVD,

BELIVAH

SHEET No. - 8 OF 9 **REVISION. - V1**

Job No. - DB-4-ABC

DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au PH: 0411 759 765

Driveway to be constructed to LCC specifications

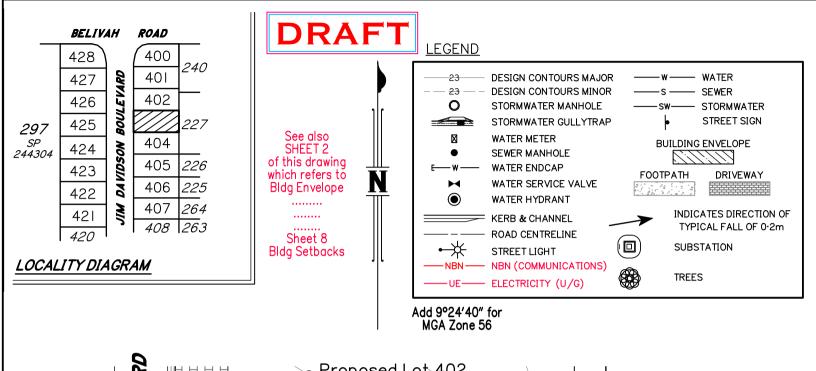
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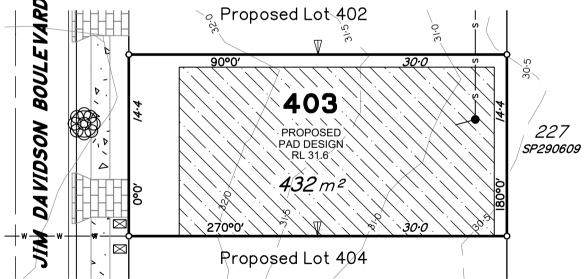
0

100

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100





30m

45m

Scale I : 300 (at A4)

15m

0m

Sheet of 2

DISCLOSURE PLAN For Lot 403 (on SP290617) Jim Davidson Boulevard BELIVAH, QLD

Sheet 1/2/208 of 2

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

IMPORTANT NOTES:

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Neville Henry VOLKER Cadastral Surveyor Date:

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 DRAWN
 BD25177

 LEVEL DATUM
 A.H.D
 CHECKED
 NHV

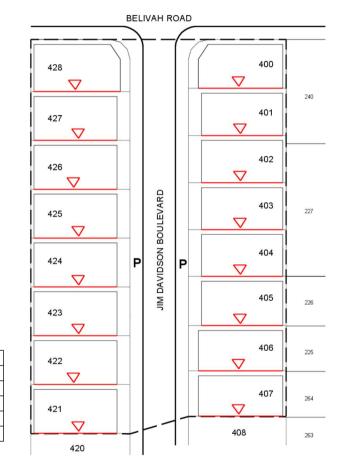
CONTOUR INTERVAL 0.5m



DAVIDSONS AT BELIVAH **STAGE 4C**



SCALE: 1:750 @ A3



SETBACKS	(unless notified otherwise)							
		LOT WIDTH						
STREET	< 14m	14m	-20m	> 20m				
SETBACK	GROUND & UPPER	GROUND UPPER		GROUND	UPPER			
PRIMARY STREET	3m	4m	4m	4.5m	4.5m			
SECONDARY STREET	2m	2m	2m	2m	2m			
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m			

NOTES:

1. SETBACKS ARE MEASURED TO THE
BUILDING WALL.

2. FRONT SETBACK MAY BE REDUCED 1.5M FOR
VERANDAH ENTRY TO PATIO.

3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

SECTION ASSESSMENT OF ALL FRONTAGES ARE REDUCED BY

15m FOR A VERANDAH PORCH COVERED FIRST

FLOOR BALCONY OR ENTRY PORTICO.

4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS

DEVELOPMENT ENVELOPE

BUILD TO BOUNDARY

PRIMARY STREET FRONTAGE

STAGE BOUNDARY

NOTES:

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- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



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NO.

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STAGE 4C STATISTICS

LOT SIZE

G.T. 500m²

400-500m²

300-400m²

L.T. 300m²

TOTAL

CLIENT: BELIVAH PTY. LTD.

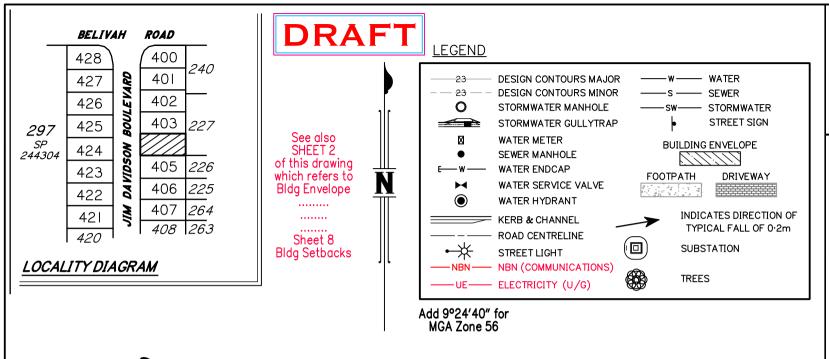
PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 40

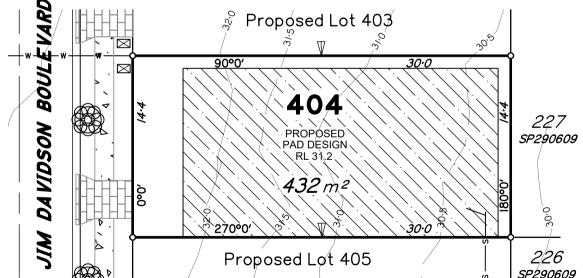
LOCATION: JIM DAVIDSON BLVD, BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au SHEET No. - 8 OF 9 PH: 0411 759 765 **REVISION. - V1**





Scale I : 300 (at A4)

Sheet 1

DISCLOSURE PLAN For Lot **404** (on SP290617) Jim Davidson Boulevard BELIVAH, QLD Sheet 1/1/5708 of 2

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

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AUTHORISATION:

NH Volker and Co Pty Ltd.

Neville Henry VOLKER Cadastral Surveyor

Date:

 DATE
 25/08/25
 SURVEYED
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 SCALE
 1:300 (A4)
 DRAWN
 BD25177

 LEVEL DATUM
 A.H.D
 CHECKED
 NHV

CONTOUR INTERVAL 0.5m



DRAWING NO: BLV019_DP 404

0m 15m 30m 45m

DAVIDSONS AT BELIVAH **STAGE 4C**



		IVAH K			
428				400	
427				401	240
426				402	
425		JIM DAVIDSON BOULEVARD		403	227
424	Р	VIDSON BC	Р	404	
423		JIM DA		405	226
422				406	225
421				407	264
420	_			408	263

BELIVAH ROAD

SETBACKS	(unless notified otherwise)						
	LOT MDTH						
STREET	< 14m	14m	-20m	> 20m			
SETBACK	GROUND & UPPER	GROUND UPPER		GROUND	UPPER		
PRIMARY STREET	3m	4m	4m	4.5m	4.5m		
SECONDARY STREET	2m	2m	2m	2m	2m		
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m		

NOTES:

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BUILDING WALL.

2. FRONT SETBACK MAY BE REDUCED 1.5M FOR
VERANDAH ENTRY TO PATIO.

3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

SECOND AS PROMUDAL PROPEL CAMEROE LIGHT

15m FOR A VERANDAH, PORCH, COVERED FIRST

FLOOR BALCONY OR ENTRY PORTICO.

4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS DEVELOPMENT ENVELOPE

STAGE BOUNDARY

PRIMARY STREET FRONTAGE

BUILD TO BOUNDARY

NOTES:

- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



N H VOLKER & Co. PTY. LTD. P O Box 411 BEENLEIGH QLD 4207 BELIVAH EMAIL: nvolker@ bigpond.net.au

NO.

0

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%

0

100

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100

STAGE 4C STATISTICS LOT SIZE

G.T. 500m²

400-500m²

300-400m²

L.T. 300m²

TOTAL

CLIENT: BELIVAH PTY. LTD.

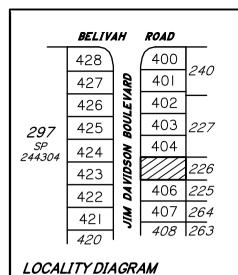
PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 4C LOCATION: JIM DAVIDSON BLVD, BELIVAH

Job No. - DB-4-ABC

REVISION. - V1

DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au PH: 0411 759 765



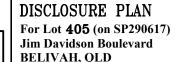
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See also SHEET 2 of this drawing which refers to Blda Envelope

Sheet 8 Bldg Setbacks

LEGEND — WATER DESIGN CONTOURS MAJOR 23 — DESIGN CONTOURS MINOR - SEWER 0 STORMWATER MANHOLE STORMWATER STREET SIGN STORMWATER GULLYTRAP Ø WATER METER BUILDING ENVELOPE SEWER MANHOLE WATER ENDCAP **FOOTPATH** DRIVEWAY M WATER SERVICE VALVE WATER HYDRANT INDICATES DIRECTION OF KERB & CHANNEL TYPICAL FALL OF 0.2m ROAD CENTRELINE SUBSTATION STREET LIGHT NBN - NBN (COMMUNICATIONS) TREES — ELECTRICITY (U/G)



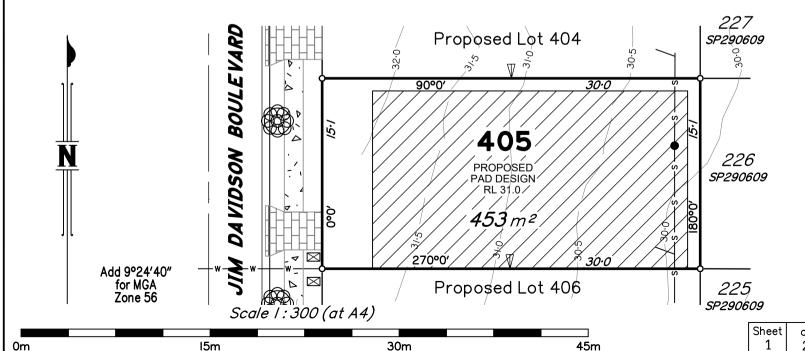
Sheet of 2

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

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30m

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Neville Henry VOLKER Cadastral Surveyor

Date:

25/08/25 SURVEYED DATE SCALE 1:300 (A4) DRAWN BD25177 LEVEL A.H.D CHECKED NHV DATUM

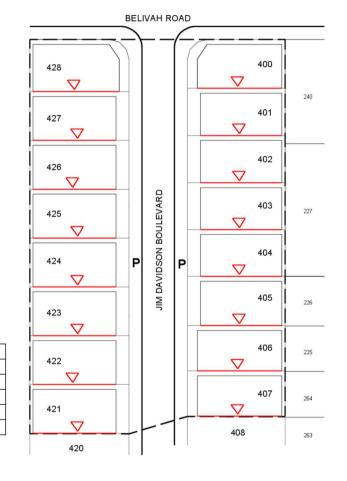
CONTOUR INTERVAL 0.5m



DAVIDSONS AT BELIVAH **STAGE 4C**



SCALE: 1:750 @ A3



SETBACKS	(unless notified otherwise)							
		LOT WIDTH						
STREET	< 14m	14m	-20m	> 20m				
SETBACK	GROUND & UPPER	GROUND UPPER		GROUND	UPPER			
PRIMARY STREET	3m	4m	4m	4.5m	4.5m			
SECONDARY STREET	2m	2m	2m	2m	2m			
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m			

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3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

SECOND AS PROMUDAL PROPEL CAMEROE LIGHT

15m FOR A VERANDAH PORCH COVERED FIRST

FLOOR BALCONY OR ENTRY PORTICO.

4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS DEVELOPMENT ENVELOPE **BUILD TO BOUNDARY**

STAGE BOUNDARY

PRIMARY STREET FRONTAGE

NOTES:

- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



N H VOLKER & Co. PTY, LTD. P O Box 411 BELIVAH EMAIL: nvolker@bigpond.net.au

NO.

0

16

0

%

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100

0

0

STAGE 4C STATISTICS

LOT SIZE

G.T. 500m²

400-500m²

300-400m²

L.T. 300m²

TOTAL

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 40

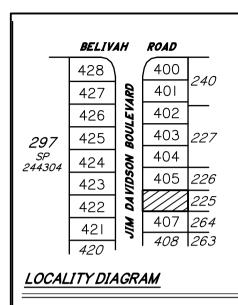
LOCATION: JIM DAVIDSON BLVD, BELIVAH

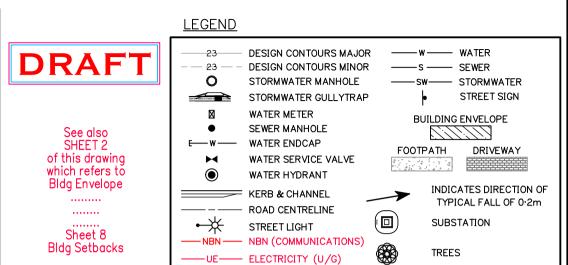
Job No. - DB-4-ABC

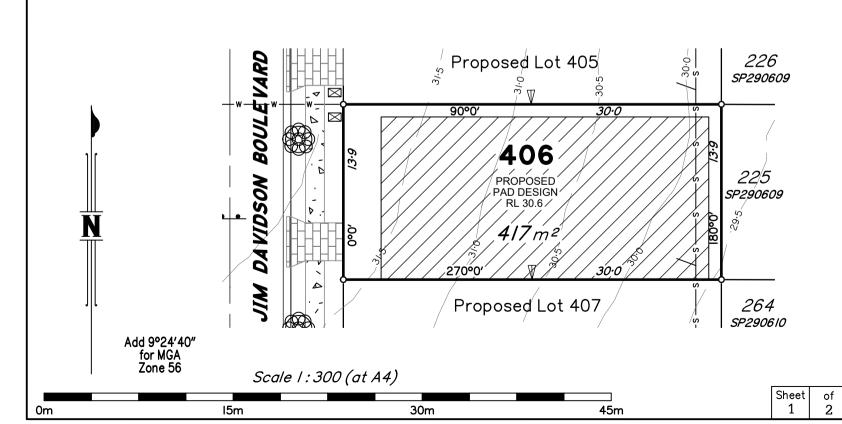
REVISION. - V1

DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au PH: 0411 759 765







DISCLOSURE PLAN For Lot **406** (on SP290617) Jim Davidson Boulevard BELIVAH, QLD

Sheet 1/15208

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

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 SCALE
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 DRAWN
 BD25177

 LEVEL DATUM
 A.H.D
 CHECKED
 NHV

CONTOUR INTERVAL 0.5m



DAVIDSONS AT BELIVAH **BUILDING ENVELOPE PLAN STAGE 4C** BELIVAH ROAD SCALE: 1:750 @ A3 400 428 ∇ 401 427 ∇ ∇ 402 426 ∇ BOULEVARD 403 425 ∇ DAVIDSON 404 424

SETBACKS	(unless notified otherwise)					
		LO	T WIDTH			
STREET	< 14m	14m - 20m		> 20m		
SETBACK	GROUND & UPPER	GROUND	UPPER	GROUND	UPPER	
PRIMARY STREET	3m	4m	4m	4.5m	4.5m	
SECONDARY STREET	2m	2m	2m	2m	2m	
SIDE & REAR	1m	1m	1.5m	1.5m	2m	

NOTES:

1. SETBACKS ARE MEASURED TO THE
BUILDING WALL.

2. FRONT SETBACK MAY BE REDUCED 1.5M FOR
VERANDAH ENTRY TO PATIO.

3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

15m FOR A VERANDAH PORCH COVERED FIRST

FLOOR BALCONY OR ENTRY PORTICO.

4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS

DEVELOPMENT ENVELOPE

BUILD TO BOUNDARY

STAGE BOUNDARY

PRIMARY STREET FRONTAGE

NOTES:

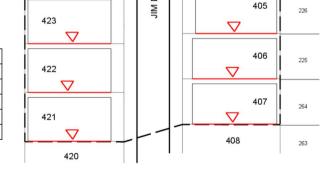
- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**

9.1. 300III		U
400-500m ²	16	100
300-400m ²	0	0
L.T. 300m ²	0	0
TOTAL	16	100

STAGE 4C STATISTICS

LOT SIZE

G T 500m2



N H VOLKER & Co. PTY. LTD. P O Box 411 BELIVAH EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 40

LOCATION: JIM DAVIDSON BLVD, BELIVAH

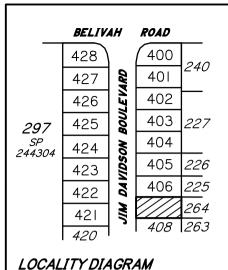
Job No. - DB-4-ABC

SHEET No. - 8 OF 9

REVISION. - V1

DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au PH: 0411 759 765



Zone 56

0m

15m



See also SHEET 2 of this drawing which refers to Bldg Envelope

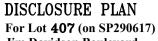
Sheet 8 Bldg Setbacks

Scale 1:300 (at A4)

......

LEGEND DESIGN CONTOURS MAJOR WATER DESIGN CONTOURS MINOR - SEWER 0 - STORMWATER STORMWATER MANHOLE STREET SIGN STORMWATER GULLYTRAP × WATER METER **BUILDING ENVELOPE** SEWER MANHOLE WATER ENDCAP FOOTPATH DRIVEWAY WATER SERVICE VALVE \mathbf{H} WATER HYDRANT INDICATES DIRECTION OF KERB & CHANNEL TYPICAL FALL OF 0.2m ROAD CENTRELINE SUBSTATION STREET LIGHT NBN - NBN (COMMUNICATIONS) TREES ELECTRICITY (U/G)

45m



Sheet 1/9708

For Lot **407** (on SP290617) Jim Davidson Boulevard BELIVAH, QLD

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

IMPORTANT NOTES:

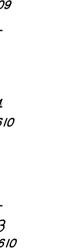
These notes are an integral part of the plan. This plan has been prepared for Davidsons At Belivah for the purposes of a **Disclosure Plan under the** *Land Sales Act 1984*

It is not to be used for any other purpose and is subject to the following limitations. The lot dimensions and areas shown hereon are subject to final survey and also subject to Council and other authorities. Notwithstanding the limits of filling shown, the actual limits shall be determined on site by the engineer during construction. Compaction of any fill material placed on this site shall be completed under inspection and testing services in accordance with AS3798-2007. Location of sewer, stormwater, water, electric and communications are shown from engineering drawings and may differ from the as constructed location. These drawings are copyright and are not to be used or

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AUTHORISATION:



Sheet

Neville Henry VOLKER
Cadastral Surveyor

DATE 25/08/25

SCALE 1:300 (A4)

LEVEL
DATUM A.H.D

CONTOUR INTERVAL

Davidson's **A**t

Date:

DRAWN BD25177

NHV

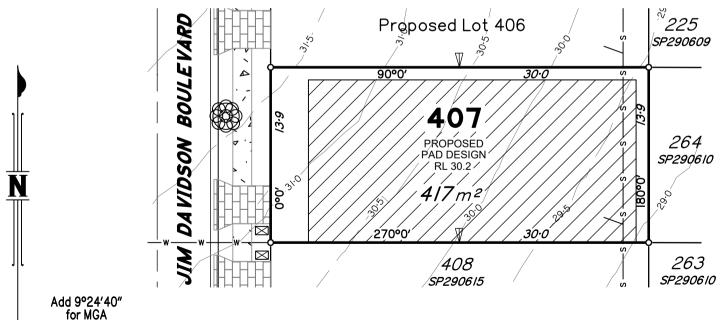
SURVEYED

CHECKED

0.5m

BELIVAH

DRAWING NO: BLV019_DP 407

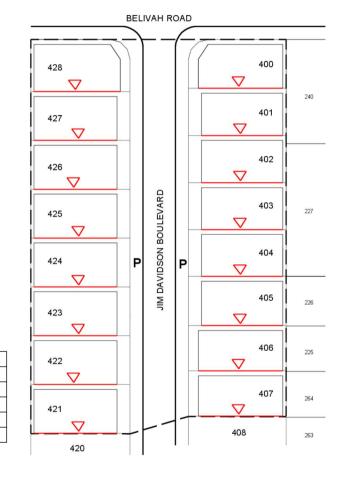


30m

DAVIDSONS AT BELIVAH **STAGE 4C**



SCALE: 1:750 @ A3



SETBACKS	(unless notified otherwise)							
		LOT WIDTH						
STREET	< 14m	14m	-20m	> 20m				
SETBACK	GROUND & UPPER	GROUND UPPER		GROUND	UPPER			
PRIMARY STREET	3m	4m	4m	4.5m	4.5m			
SECONDARY STREET	2m	2m	2m	2m	2m			
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m			

NOTES:

1. SETBACKS ARE MEASURED TO THE
BUILDING WALL.

2. FRONT SETBACK MAY BE REDUCED 1.5M FOR
VERANDAH ENTRY TO PATIO.

3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

SECOND AS PROMUDAL PROPEL CAMEROE LIGHT

15m FOR A VERANDAH PORCH COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.

4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS DEVELOPMENT ENVELOPE

STAGE BOUNDARY

PRIMARY STREET FRONTAGE

BUILD TO BOUNDARY

NOTES:

- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



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NO.

0

16

0

16

%

0

100

0

0

100

STAGE 4C STATISTICS

LOT SIZE

G.T. 500m²

400-500m²

300-400m²

L.T. 300m²

TOTAL

CLIENT: BELIVAH PTY. LTD.

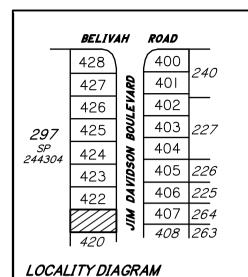
PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 40

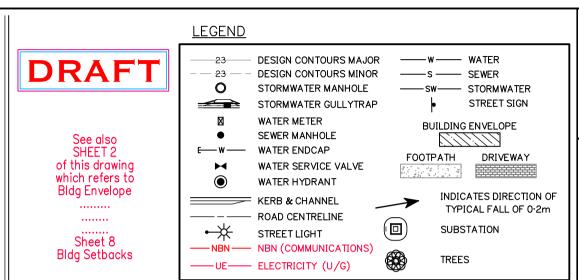
LOCATION: JIM DAVIDSON BLVD, BELIVAH

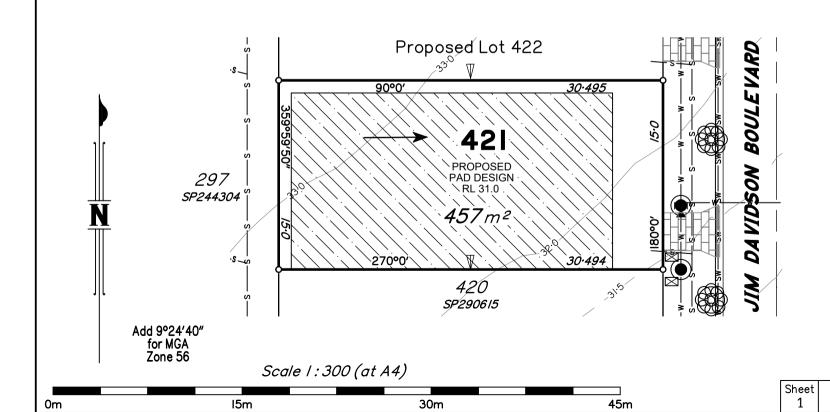
Job No. - DB-4-ABC

DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au SHEET No. - 8 OF 9 PH: 0411 759 765 **REVISION. - V1**







DISCLOSURE PLAN For Lot 421 (on SP290617) Jim Davidson Boulevard BELIVAH, OLD

Sheet 1/2/5708 of 2

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan. This plan has been prepared for Davidsons At Belivah for the purposes of a **Disclosure Plan under the** *Land Sales Act 1984*

It is not to be used for any other purpose and is subject to the following limitations. The lot dimensions and areas shown hereon are subject to final survey and also subject to Council and other authorities. Notwithstanding the limits of filling shown, the actual limits shall be determined on site by the engineer during construction. Compaction of any fill material placed on this site shall be completed under inspection and testing services in accordance with AS3798-2007. Location of sewer. stormwater, water, electric and communications are shown from engineering drawings and may differ from the as constructed location. These drawings are copyright and are not to be used or reproduced without the written permission of

AUTHORISATION:

NH Volker and Co Pty Ltd.

Neville Henry VOLKER Cadastral Surveyor Date:

 DATE
 25/08/25
 SURVEYED
 −

 SCALE
 1:300 (A4)
 DRAWN
 BD25177

 LEVEL DATUM
 A.H.D
 CHECKED
 NHV

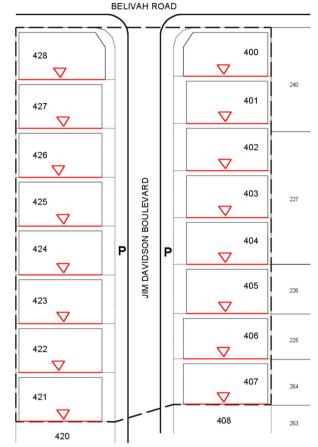
CONTOUR INTERVAL 0.5m



BUILDING ENVELOPE PLAN SCALE: 1:750 @ A3

DAVIDSONS AT BELIVAH **STAGE 4C**

		1
STAGE 4C STATIS	STICS	
LOT SIZE	NO.	%
G.T. 500m ²	0	0
400-500m ²	16	100
300-400m ²	0	0
L.T. 300m ²	0	0
TOTAL	16	100



SETBACKS	(unless notified otherwise)						
		LO	r WIDTH				
STREET SETBACK	< 14m	14m	-20m	> 20m			
	GROUND & UPPER	GROUND UPPER		GROUND	UPPER		
PRIMARY STREET	3m	4m	4m	4.5m	4.5m		
SECONDARY STREET	2m	2m	2m	2m	2m		
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m		

NOTES:

1. SETBACKS ARE MEASURED TO THE
BUILDING WALL.

2. FRONT SETBACK MAY BE REDUCED 1.5M FOR
VERANDAH ENTRY TO PATIO.

3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

SECTION ASSESSMENT OF ALL FRONTAGES ARE REDUCED BY

15m FOR A VERANDAH, PORCH, COVERED FIRST

FLOOR BALCONY OR ENTRY PORTICO.

4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS DEVELOPMENT ENVELOPE **BUILD TO BOUNDARY**

STAGE BOUNDARY

PRIMARY STREET FRONTAGE

NOTES:

- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



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CLIENT: BELIVAH PTY. LTD.

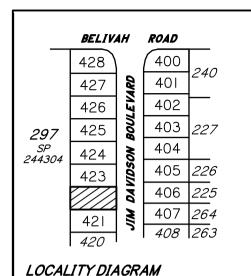
PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 4C

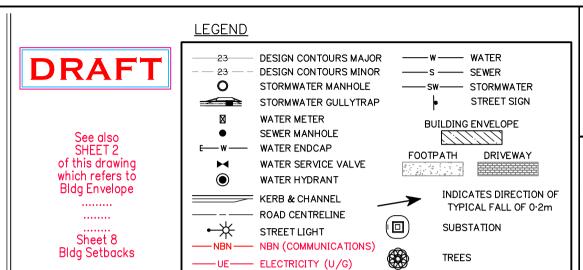
LOCATION: JIM DAVIDSON BLVD, BELIVAH

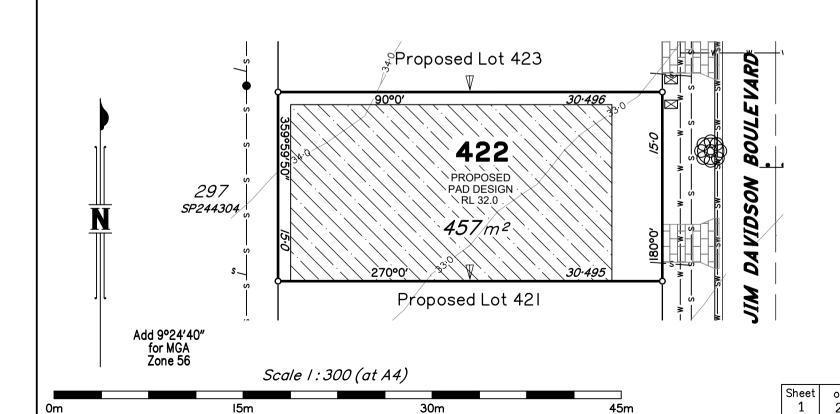
Job No. - DB-4-ABC

DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au PH: 0411 759 765 **REVISION. - V1**







DISCLOSURE PLAN For Lot **422** (on SP290617) Jim Davidson Boulevard

Sheet of 2

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

IMPORTANT NOTES:

BELIVAH, OLD

These notes are an integral part of the plan. This plan has been prepared for Davidsons At Belivah for the purposes of a **Disclosure Plan** under the Land Sales Act 1984

It is not to be used for any other purpose and is subject to the following limitations. The lot dimensions and areas shown hereon are subject to final survey and also subject to Council and other authorities. Notwithstanding the limits of filling shown, the actual limits shall be determined on site by the engineer during construction. Compaction of any fill material placed on this site shall be completed under inspection and testing services in accordance with AS3798-2007. Location of sewer. stormwater, water, electric and communications are shown from engineering drawings and may differ from the as constructed location. These drawings are copyright and are not to be used or

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AUTHORISATION:

NH Volker and Co Pty Ltd.

Neville Henry VOLKER Cadastral Surveyor

Date:

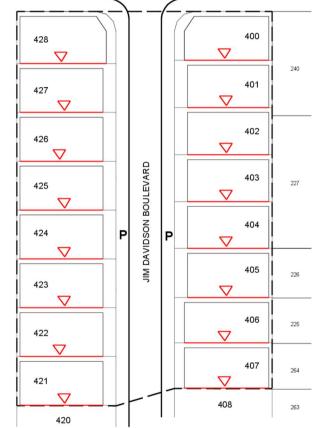
25/08/25 SURVEYED DATE SCALE 1:300 (A4) DRAWN BD25177 LEVEL A.H.D CHECKED NHV DATUM

CONTOUR INTERVAL 0.5m



BUILDING ENVELOPE PLAN BELIVAH ROAD SCALE: 1:750 @ A3

DAVIDSONS AT BELIVAH **STAGE 4C**



SETBACKS	(unless notified otherwise)							
		LOT MDTH						
STREET	< 14m	14m	-20m	> 20m				
SETBACK	GROUND & UPPER	GROUND UPPER		GROUND	UPPER			
PRIMARY STREET	3m	4m	4m	4.5m	4.5m			
SECONDARY STREET	2m	2m	2m	2m	2m			
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m			

NOTES:

1. SETBACKS ARE MEASURED TO THE
BUILDING WALL.

2. FRONT SETBACK MAY BE REDUCED 1.5M FOR
VERANDAH ENTRY TO PATIO.

3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

SECTION ASSESSMENT OF ALL FRONTAGES ARE REDUCED BY

15m FOR A VERANDAH PORCH COVERED FIRST

FLOOR BALCONY OR ENTRY PORTICO.

4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS DEVELOPMENT ENVELOPE

BUILD TO BOUNDARY

STAGE BOUNDARY

PRIMARY STREET FRONTAGE

NOTES:

- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



N H VOLKER & Co. PTY, LTD. P O Box 411 BEENLEIGH QLD 4207 BELIVAH EMAIL: nvolker@bigpond.net.au

0

16

0

0

16

0

100

0

0

100

STAGE 4C STATISTICS

LOT SIZE

G.T. 500m²

400-500m²

300-400m²

L.T. 300m²

TOTAL

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 40

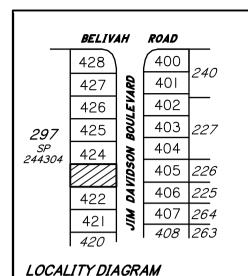
LOCATION: JIM DAVIDSON BLVD, BELIVAH

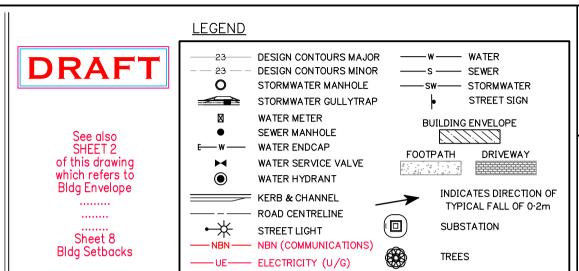
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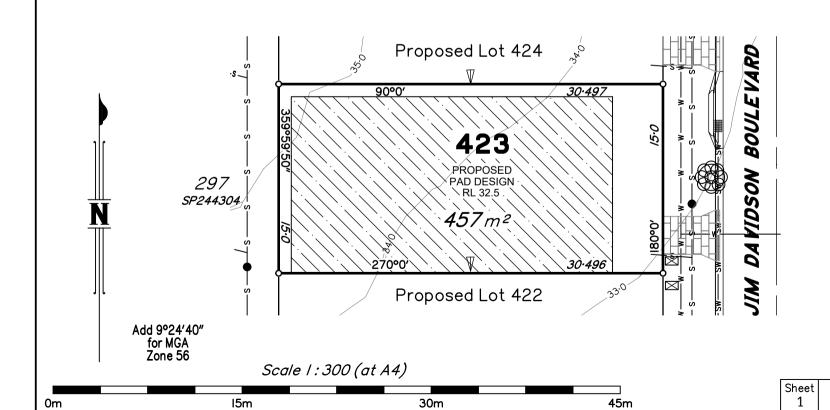
REVISION. - V1

DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au PH: 0411 759 765







DISCLOSURE PLAN For Lot 423 (on SP290617) Jim Davidson Boulevard BELIVAH, OLD

Sheet 1/1/5708 of 2

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

NH Volker and Co Pty Ltd.

Neville Henry VOLKER Cadastral Surveyor Date:

 DATE
 25/08/25
 SURVEYE
 −

 SCALE
 1:300 (A4)
 DRAWN
 BD:25177

 LEVEL DATUM
 A.H.D
 CHECKED
 NHV

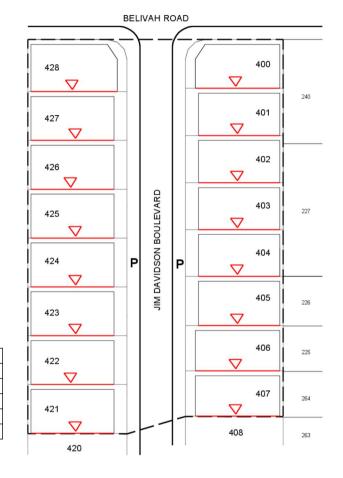
CONTOUR INTERVAL 0.5m



DAVIDSONS AT BELIVAH **STAGE 4C**



SCALE: 1:750 @ A3



SETBACKS	(unless notified otherwise)						
	LOT WIDTH						
STREET	< 14m	14m - 20m		> 20m			
SETBACK	GROUND & UPPER	GROUND UPPER		GROUND	UPPER		
PRIMARY STREET	3m	4m 4m		4.5m	4.5m		
SECONDARY STREET	2m	2m	2m	2m	2m		
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m		

NOTES:

1. SETBACKS ARE MEASURED TO THE
BUILDING WALL.

2. FRONT SETBACK MAY BE REDUCED 1.5M FOR
VERANDAH ENTRY TO PATIO.

3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

SECOND AS PROMUDAL PROPEL CAMEROE LIGHT

15m FOR A VERANDAH PORCH COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.

4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS

DEVELOPMENT ENVELOPE **BUILD TO BOUNDARY**

STAGE BOUNDARY

PRIMARY STREET FRONTAGE

NOTES:

- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



N H VOLKER & Co. PTY, LTD. P O Box 411 BEENLEIGH QLD 4207 BELIVAH EMAIL: nvolker@bigpond.net.au

NO.

0

16

16

%

0

100

100

STAGE 4C STATISTICS

LOT SIZE

G.T. 500m²

400-500m²

300-400m²

L.T. 300m²

TOTAL

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 40

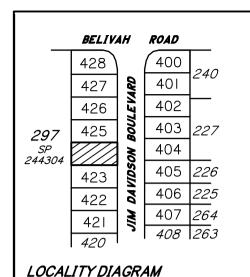
LOCATION: JIM DAVIDSON BLVD, BELIVAH

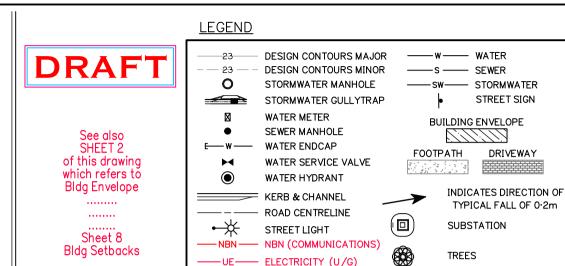
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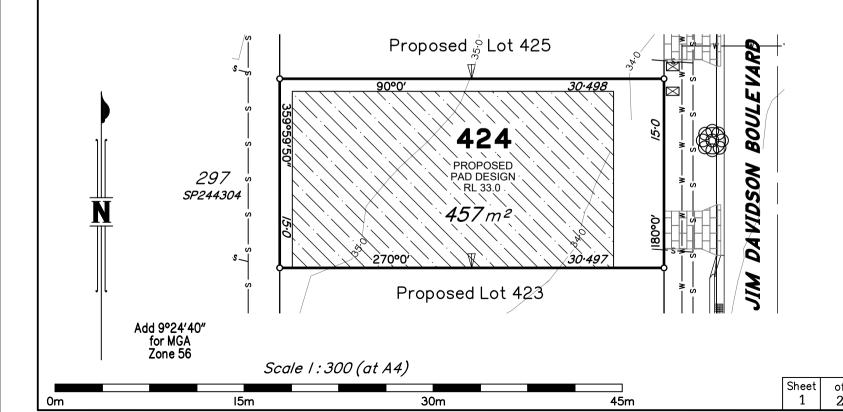
REVISION. - V1

DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au SHEET No. - 8 OF 9 PH: 0411 759 765







DISCLOSURE PLAN For Lot 424 (on SP290612

For Lot **424** (on SP290617) Jim Davidson Boulevard BELIVAH, OLD Sheet 1/19208 of 2

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

NH Volker and Co Pty Ltd.

Neville Henry VOLKER Cadastral Surveyor Date:

DATE25/08/25SURVEYED-SCALE1:300(A4)DRAWNBD25177LEVEL
DATUMA.H.DCHECKEDNHV

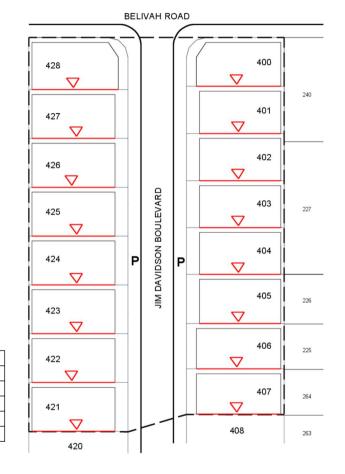
CONTOUR INTERVAL 0.5m



DAVIDSONS AT BELIVAH **STAGE 4C**



SCALE: 1:750 @ A3



SETBACKS	(unless notified otherwise)						
	LOT WIDTH						
STREET SETBACK	< 14m	14m - 20m		> 20m			
	GROUND & UPPER	GROUND UPPER		GROUND	UPPER		
PRIMARY STREET	3m	4m 4m		4.5m	4.5m		
SECONDARY STREET	2m	2m	2m	2m	2m		
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m		

NOTES:

1. SETBACKS ARE MEASURED TO THE
BUILDING WALL.

2. FRONT SETBACK MAY BE REDUCED 1.5M FOR
VERANDAH ENTRY TO PATIO.

3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

SECOND AS PROMUDAL PROPEL CAMEROE LIGHT

15m FOR A VERANDAH PORCH COVERED FIRST

FLOOR BALCONY OR ENTRY PORTICO.

4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS DEVELOPMENT ENVELOPE

BUILD TO BOUNDARY STAGE BOUNDARY

PRIMARY STREET FRONTAGE

NOTES:

- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



N H VOLKER & Co. PTY, LTD. P O Box 411 BEENLEIGH QLD 4207 BELIVAH EMAIL: nvolker@bigpond.net.au

NO.

0

16

0

0

16

%

0

100

0

0

100

STAGE 4C STATISTICS

LOT SIZE

G.T. 500m²

400-500m²

300-400m²

L.T. 300m²

TOTAL

CLIENT: BELIVAH PTY. LTD.

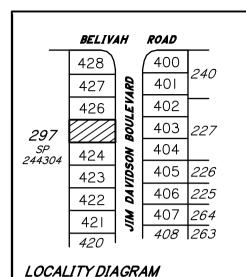
PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 40 LOCATION: JIM DAVIDSON BLVD,

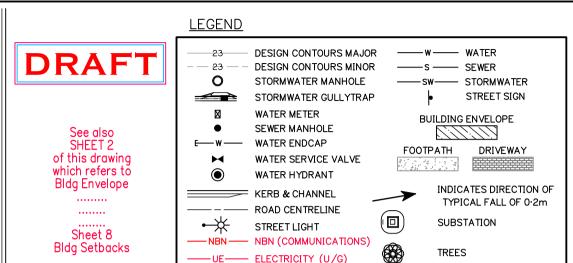
BELIVAH

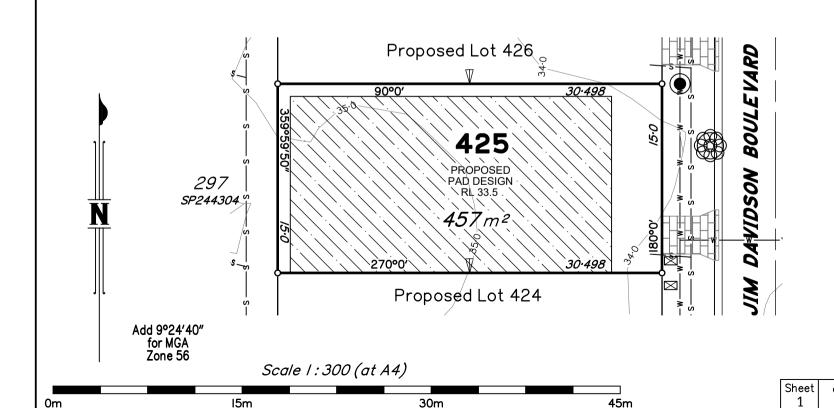
SHEET No. - 8 OF 9 **REVISION. - V1**

Job No. - DB-4-ABC DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au PH: 0411 759 765







DISCLOSURE PLAN For Lot 425 (on SP290617) Jim Davidson Boulevard BELIVAH, OLD

Sheet 1/9508 of 2

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan. This plan has been prepared for Davidsons At Belivah for the purposes of a **Disclosure Plan under the** *Land Sales Act 1984*

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AUTHORISATION:

NH Volker and Co Pty Ltd.

Neville Henry VOLKER Cadastral Surveyor Date:

DATE25/08/25SURVEYEV--SCALE1:300 (A4)DRAWNBD:5177LEVEL DATUMA.H.DCHECKEDNHV

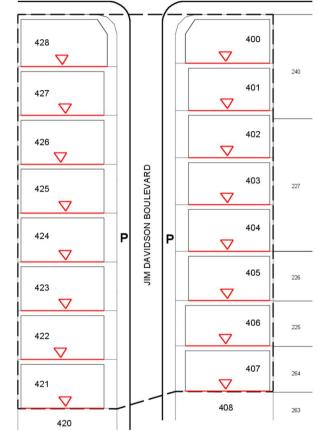
CONTOUR INTERVAL 0.5m



BUILDING ENVELOPE PLAN BELIVAH ROAD

DAVIDSONS AT BELIVAH **STAGE 4C**

SCALE: 1:750 @ A3



SETBACKS	(unless notified otherwise)						
STREET SETBACK	LOT WIDTH						
	< 14m	14m - 20m		> 20m			
	GROUND & UPPER	GROUND UPPER		GROUND	UPPER		
PRIMARY STREET	3m	4m 4m		4.5m	4.5m		
SECONDARY STREET	2m	2m	2m	2m	2m		
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m		

- NOTES:

 1. SETBACKS ARE MEASURED TO THE
 BUILDING WALL.

 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR
 VERANDAH ENTRY TO PATIO.

 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

 SECTION ASSESSMENT OF ALL FRONTAGES ARE REDUCED BY
- 15m FOR A VERANDAH PORCH COVERED FIRST
- FLOOR BALCONY OR ENTRY PORTICO.

 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS DEVELOPMENT ENVELOPE

BUILD TO BOUNDARY

STAGE BOUNDARY

PRIMARY STREET FRONTAGE

NOTES:

- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



N H VOLKER & Co. PTY, LTD. P O Box 411 BEENLEIGH QLD 4207 BELIVAH EMAIL: nvolker@bigpond.net.au

NO.

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STAGE 4C STATISTICS

LOT SIZE

G.T. 500m²

400-500m²

300-400m²

L.T. 300m²

TOTAL

CLIENT: BELIVAH PTY. LTD.

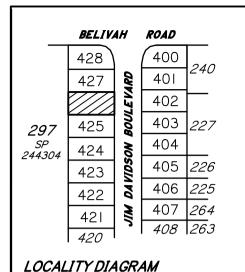
PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 40

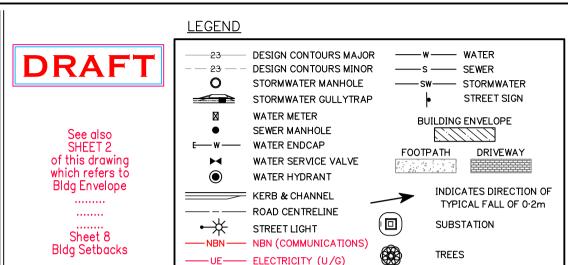
LOCATION: JIM DAVIDSON BLVD, BELIVAH

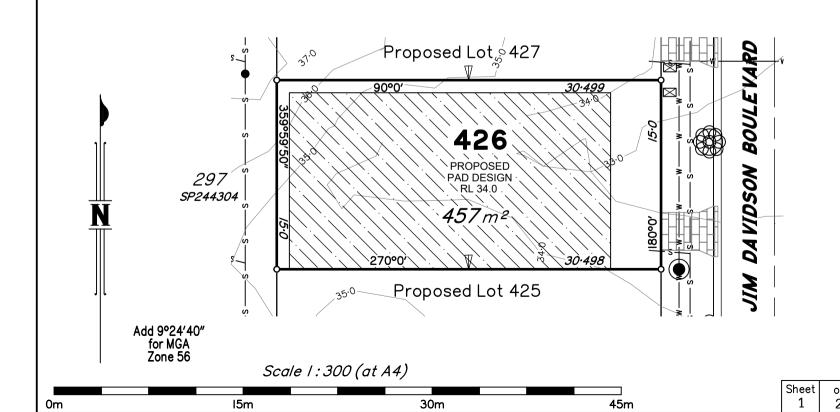
Job No. - DB-4-ABC

DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au PH: 0411 759 765 **REVISION. - V1**







DISCLOSURE PLAN For Lot 426 (on SP290617) Jim Davidson Boulevard BELIVAH, OLD

Sheet 1/2/5708

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan. This plan has been prepared for Davidsons At Belivah for the purposes of a **Disclosure Plan under the** *Land Sales Act 1984*

It is not to be used for any other purpose and is subject to the following limitations. The lot dimensions and areas shown hereon are subject to final survey and also subject to Council and other authorities. Notwithstanding the limits of filling shown, the actual limits shall be determined on site by the engineer during construction. Compaction of any fill material placed on this site shall be completed under inspection and testing services in accordance with AS3798-2007. Location of sewer. stormwater, water, electric and communications are shown from engineering drawings and may differ from the as constructed location. These drawings are copyright and are not to be used or reproduced without the written permission of

AUTHORISATION:

NH Volker and Co Pty Ltd.

Neville Henry VOLKER Cadastral Surveyor

Date:

 DATE
 25/08/25
 SURVEYED

 SCALE
 1:300 (A4)
 DRAWN
 BD25177

 LEVEL DATUM
 A.H.D
 CHECKED
 NHV

CONTOUR INTERVAL 0.5m



DAVIDSONS AT BELIVAH **STAGE 4C**



		IVALIK			
428				400	
427				401	240
426				402	
425		ULEVARD		403	227
424	P	JIM DAVIDSON BOULEVARD	P	₩ 404	
423		JIM DA		405	226
422				406	225
421				407	264
420	_			408	263

BELIVAH ROAD

SETBACKS	(unless notified otherwise)						
	LOT WIDTH						
STREET SETBACK	< 14m	14m - 20m		> 20m			
	GROUND & UPPER	GROUND UPPER		GROUND	UPPER		
PRIMARY STREET	3m	4m 4m		4.5m	4.5m		
SECONDARY STREET	2m	2m	2m	2m	2m		
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m		

NOTES:

1. SETBACKS ARE MEASURED TO THE
BUILDING WALL.

2. FRONT SETBACK MAY BE REDUCED 1.5M FOR
VERANDAH ENTRY TO PATIO.

3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

SECOND AS PROMUDAL PROPEL CAMEROE LIGHT

15m FOR A VERANDAH, PORCH, COVERED FIRST

FLOOR BALCONY OR ENTRY PORTICO.

4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS DEVELOPMENT ENVELOPE **BUILD TO BOUNDARY**

STAGE BOUNDARY

PRIMARY STREET FRONTAGE

NOTES:

- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



PREPARED BY: N H VOLKER & Co. PTY. LTD. P O Box 411 BEENLEIGH QLD 4207 BELIVAH EMAIL: nvolker@ bigpond.net.au

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STAGE 4C STATISTICS

LOT SIZE

G.T. 500m²

400-500m²

300-400m²

L.T. 300m²

TOTAL

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 4C LOCATION: JIM DAVIDSON BLVD,

BELIVAH

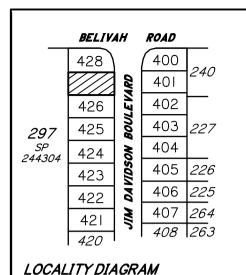
Job No. - DB-4-ABC

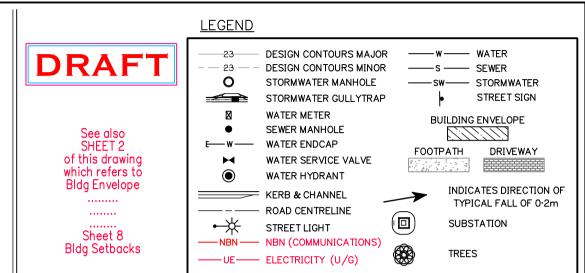
SHEET No. - 8 OF 9

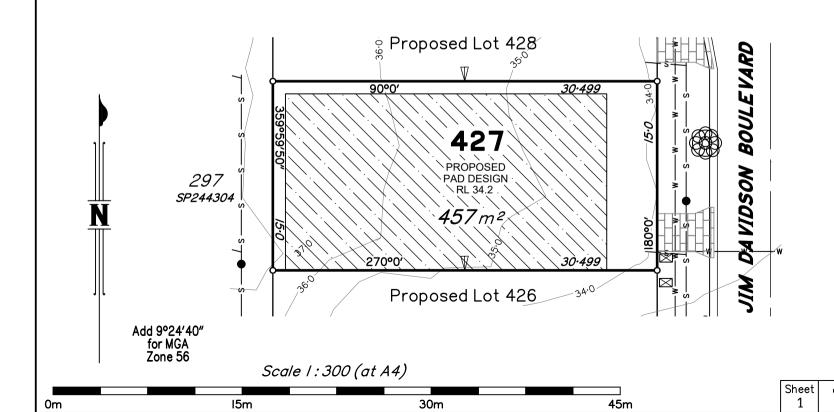
REVISION. - V1

DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au PH: 0411 759 765







DISCLOSURE PLAN For Lot 427 (on SP290617) Jim Davidson Boulevard

Sheet 1/19208 of 2

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

IMPORTANT NOTES:

BELIVAH, OLD

These notes are an integral part of the plan. This plan has been prepared for Davidsons At Belivah for the purposes of a **Disclosure Plan under the** *Land Sales Act 1984*

It is not to be used for any other purpose and is subject to the following limitations. The lot dimensions and areas shown hereon are subject to final survey and also subject to Council and other authorities. Notwithstanding the limits of filling shown, the actual limits shall be determined on site by the engineer during construction. Compaction of any fill material placed on this site shall be completed under inspection and testing services in accordance with AS3798-2007. Location of sewer. stormwater, water, electric and communications are shown from engineering drawings and may differ from the as constructed location. These drawings are copyright and are not to be used or reproduced without the written permission of

AUTHORISATION:

NH Volker and Co Pty Ltd.

Neville Henry VOLKER Cadastral Surveyor Date:

 DATE
 25/08/25
 SURVEYED

 SCALE
 1:300 (A4)
 DRAWN
 BD≥5177

 LEVEL DATUM
 A.H.D
 CHECKED
 NHV

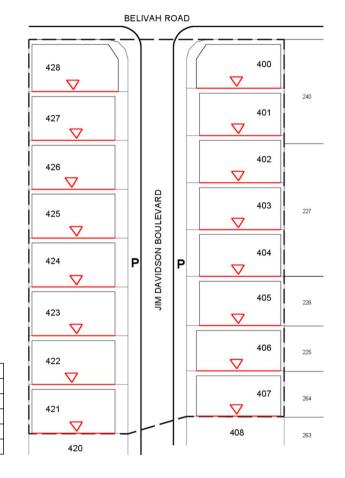
CONTOUR INTERVAL 0.5m



DAVIDSONS AT BELIVAH **STAGE 4C**



SCALE: 1:750 @ A3



SETBACKS	(unless notified otherwise)						
	LOT WIDTH						
STREET SETBACK	< 14m	14m - 20m		> 20m			
	GROUND & UPPER	GROUND UPPER		GROUND	UPPER		
PRIMARY STREET	3m	4m 4m		4.5m	4.5m		
SECONDARY STREET	2m	2m	2m	2m	2m		
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m		

NOTES:

1. SETBACKS ARE MEASURED TO THE
BUILDING WALL.

2. FRONT SETBACK MAY BE REDUCED 1.5M FOR
VERANDAH ENTRY TO PATIO.

3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY

15m FOR A VERANDAH PORCH COVERED FIRST

FLOOR BALCONY OR ENTRY PORTICO.

4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS

BUILD TO BOUNDARY

STAGE BOUNDARY

PRIMARY STREET FRONTAGE

DEVELOPMENT ENVELOPE

NOTES:

- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



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NO.

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STAGE 4C STATISTICS

LOT SIZE

G.T. 500m²

400-500m²

300-400m²

L.T. 300m²

TOTAL

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 40 LOCATION: JIM DAVIDSON BLVD,

BELIVAH

Job No. - DB-4-ABC SHEET No. - 8 OF 9 **REVISION. - V1**

DATE: 26/11/2024 DRAWN: BD EMAIL: nvolker@bigpond.net.au

PH: 0411 759 765

Driveway to be constructed to LCC specifications

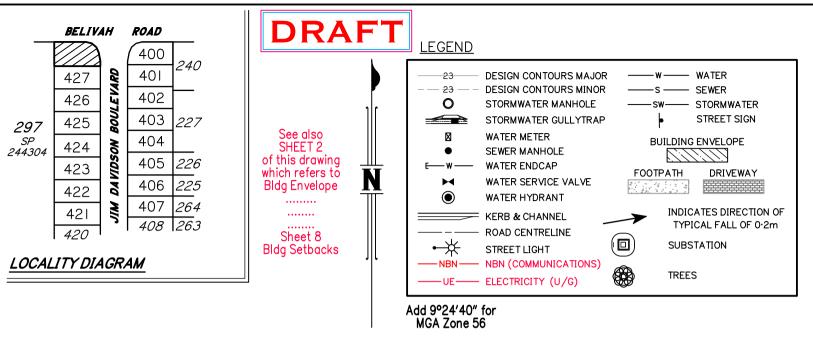
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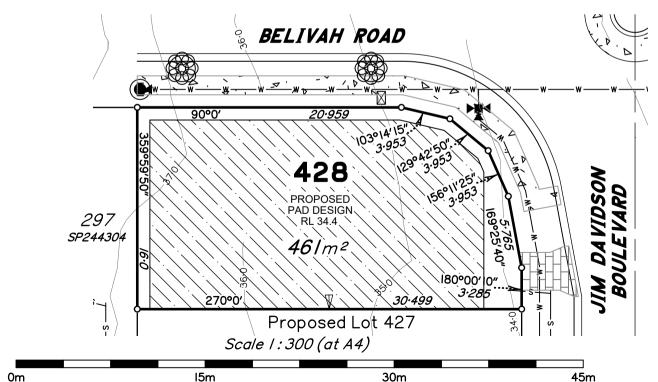
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DISCLOSURE PLAN

For Lot **428** (on SP290617) Jim Davidson Boulevard. **Belivah Road** BELIVAH, OLD

Sheet of 2

Described as Part of Lot 600 on SP290615 Local Authority: LOGAN C.C. Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan. This plan has been prepared for Davidsons At Belivah for the purposes of a Disclosure Plan under the Land Sales Act 1984

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AUTHORISATION:

NH Volker and Co Pty Ltd.

Neville Henry VOLKER Cadastral Surveyor

Sheet

Date:

25/08/25 SURVEYED DATE SCALE 1:300 (A4) DRAWN BD25177 LEVEL A.H.D CHECKED NHV DATUM

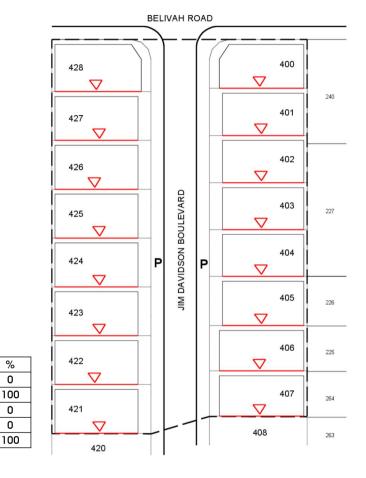
CONTOUR INTERVAL 0.5m



DAVIDSONS AT BELIVAH **STAGE 4C**



SCALE: 1:750 @ A3



SETBACKS	(unless notified otherwise)						
	LOT WIDTH						
STREET SETBACK	< 14m	14m - 20m		> 20m			
	GROUND & UPPER	GROUND UPPER		GROUND	UPPER		
PRIMARY STREET	3m	4m 4m		4.5m	4.5m		
SECONDARY STREET	2m	2m	2m	2m	2m		
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m		

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4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

NO VEHICLE ACCESS DEVELOPMENT ENVELOPE

BUILD TO BOUNDARY STAGE BOUNDARY

PRIMARY STREET FRONTAGE

NOTES:

- 1. THIS SHEET MUST READ IN CONJUCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
- 2. AVAILABLE BUILD AREA MAY BE REDUCED BY **EASEMENTS AND OTHER INFRASTRUCTURE**



N H VOLKER & Co. PTY, LTD. P O Box 411 BEENLEIGH QLD 4207 BELIVAH EMAIL: nvolker@bigpond.net.au

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STAGE 4C STATISTICS

LOT SIZE

G.T. 500m² 400-500m²

300-400m²

L.T. 300m²

TOTAL

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 400-407 & 421-428 PROJECT : DAB - STAGES 40

LOCATION: JIM DAVIDSON BLVD, BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024 DRAWN: BD

EMAIL: nvolker@bigpond.net.au SHEET No. - 8 OF 9 PH: 0411 759 765 **REVISION. - V1**