

| BELIVAH ROAD | | |
|--------------|-----|-----|
| 428 | | |
| 427 | 401 | 240 |
| 426 | 402 | |
| 425 | 403 | 227 |
| 424 | 404 | |
| 423 | 405 | 226 |
| 422 | 406 | 225 |
| 421 | 407 | 264 |
| 420 | 408 | 263 |

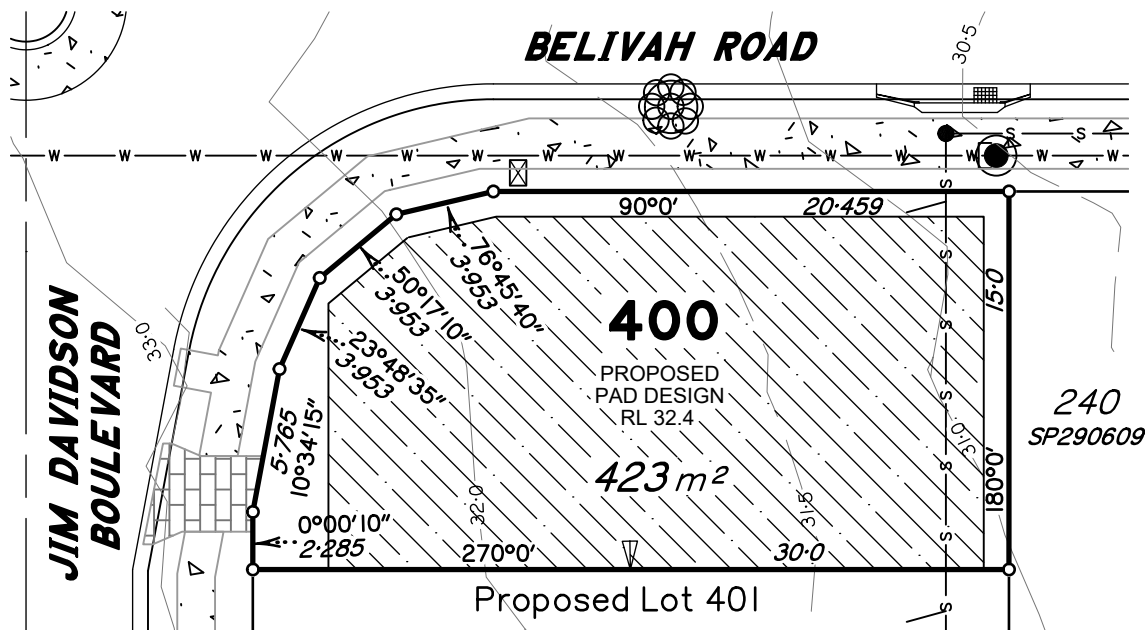
LOCALITY DIAGRAM

DRAFT

LEGEND

| | | | |
|-----|-----------------------|----|---|
| 23 | DESIGN CONTOURS MAJOR | W | WATER |
| 23 | DESIGN CONTOURS MINOR | S | SEWER |
| | STORMWATER MANHOLE | SW | STORMWATER |
| | STORMWATER GULLYTRAP | | STREET SIGN |
| | WATER METER | | BUILDING ENVELOPE |
| | SEWER MANHOLE | | FOOTPATH |
| | WATER ENDCAP | | DRIVEWAY |
| | WATER SERVICE VALVE | | INDICATES DIRECTION OF TYPICAL FALL OF 0.2m |
| | WATER HYDRANT | | SUBSTATION |
| | KERB & CHANNEL | | TREES |
| | ROAD CENTRELINE | | |
| | STREET LIGHT | | |
| NBN | NBN (COMMUNICATIONS) | | |
| UE | ELECTRICITY (U/G) | | |

Add 9°24'40" for
MGA Zone 56



DISCLOSURE PLAN

For Lot 400 (on SP290617)

Jim Davidson Boulevard,

Belivah Road

BELIVAH, QLD

Described as Part of Lot 600 on SP290615

Local Authority: LOGAN C.C.

Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan.

This plan has been prepared for Davidsons At Belivah for the purposes of a **Disclosure Plan under the Land Sales Act 1984**

It is not to be used for any other purpose and is subject to the following limitations.

The lot dimensions and areas shown hereon are subject to final survey and also subject to Council and other authorities. Notwithstanding the limits of filling shown, the actual limits shall be determined on site by the engineer during construction. Compaction of any fill material placed on this site shall be completed under inspection and testing services in accordance with AS3798-2007. Location of sewer, stormwater, water, electric and communications are shown from engineering drawings and may differ from the as constructed location. These drawings are copyright and are not to be used or reproduced without the written permission of NH Volker and Co Pty Ltd.

AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

Date:

| | | | |
|-------------|------------|----------|---------|
| DATE | 25/08/25 | SURVEYED | — |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |

CONTOUR INTERVAL 0.5m



Davidson's
At
BELIVAH

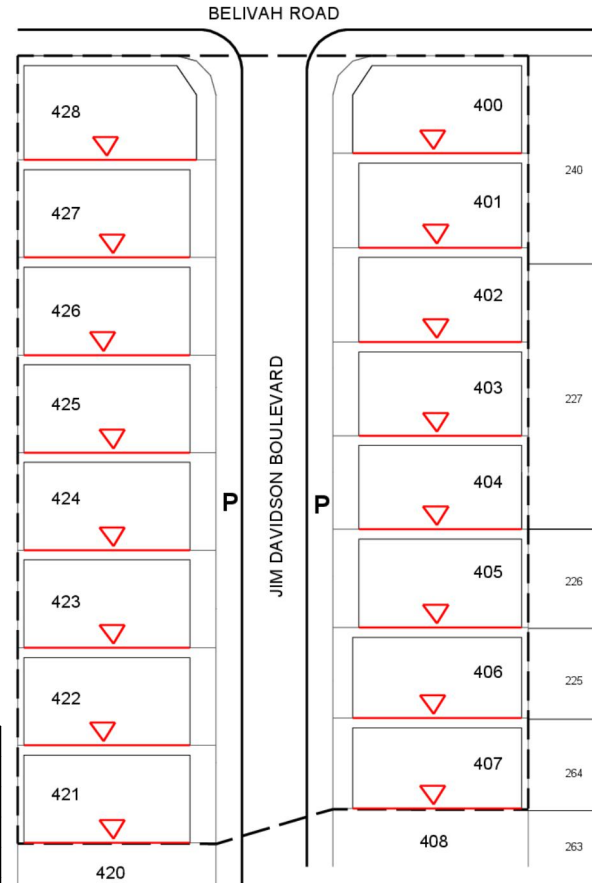
DRAWING NO: BLV019_DP 400

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|-----------|------|-------|------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m | | > 20m | |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE.

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
N H VOLKER & Co. PTY. LTD.
P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP400 SHEET 2 OF 2

| BELIVAH ROAD | | |
|--------------|-----|-----|
| 428 | 400 | 240 |
| 427 | 402 | |
| 426 | 403 | 227 |
| 425 | 404 | |
| 424 | 405 | 226 |
| 423 | 406 | 225 |
| 422 | 407 | 264 |
| 421 | 408 | 263 |
| 420 | | |

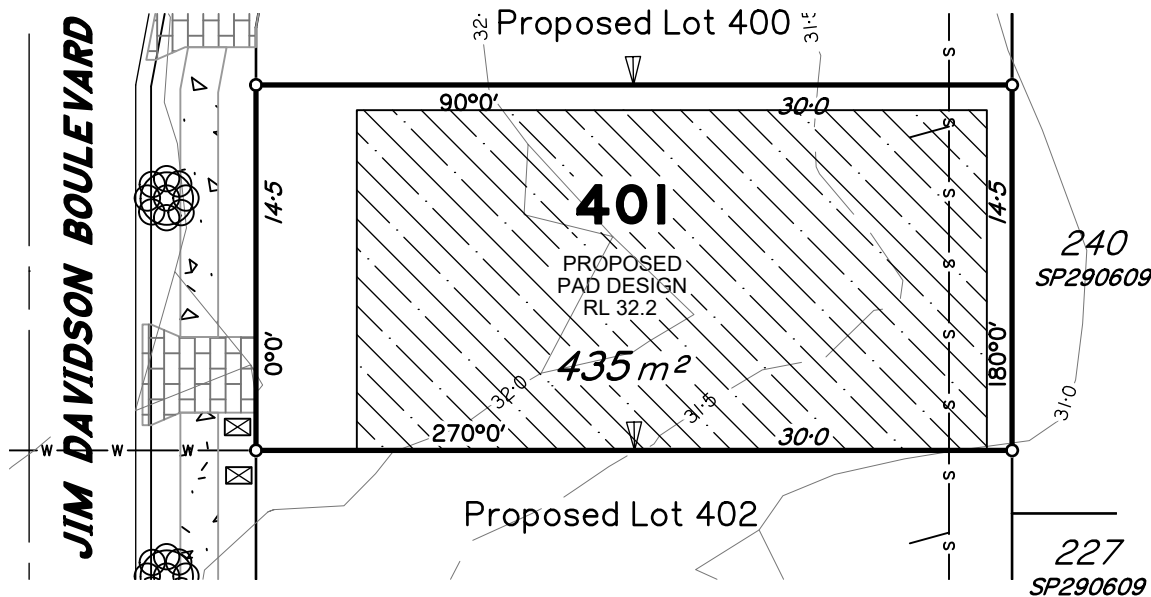
LOCALITY DIAGRAM

DRAFT

LEGEND

| | | | |
|----------------|-----------------------|--------|-------------------|
| — 23 — | DESIGN CONTOURS MAJOR | — W — | WATER |
| - - - 23 - - - | DESIGN CONTOURS MINOR | — S — | SEWER |
| ○ | STORMWATER MANHOLE | — SW — | STORMWATER |
| — | STORMWATER GULLYTRAP | — | STREET SIGN |
| ⊠ | WATER METER | | BUILDING ENVELOPE |
| ● | SEWER MANHOLE | | FOOTPATH |
| — W — | WATER ENDCAP | | DRIVEWAY |
| — | WATER SERVICE VALVE | | |
| ⊙ | WATER HYDRANT | | |
| — | KERB & CHANNEL | | |
| — | ROAD CENTRELINE | | |
| ⊙ | STREET LIGHT | | |
| — NBN — | NBN (COMMUNICATIONS) | | |
| — UE — | ELECTRICITY (U/G) | | |

Add 9°24'40" for
MGA Zone 56



DISCLOSURE PLAN

For Lot 401 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

| | | | |
|-------------|------------|----------|---------|
| DATE | 25/08/25 | SURVEYED | — |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |

CONTOUR INTERVAL 0.5m



Davidson's
At
BELIVAH

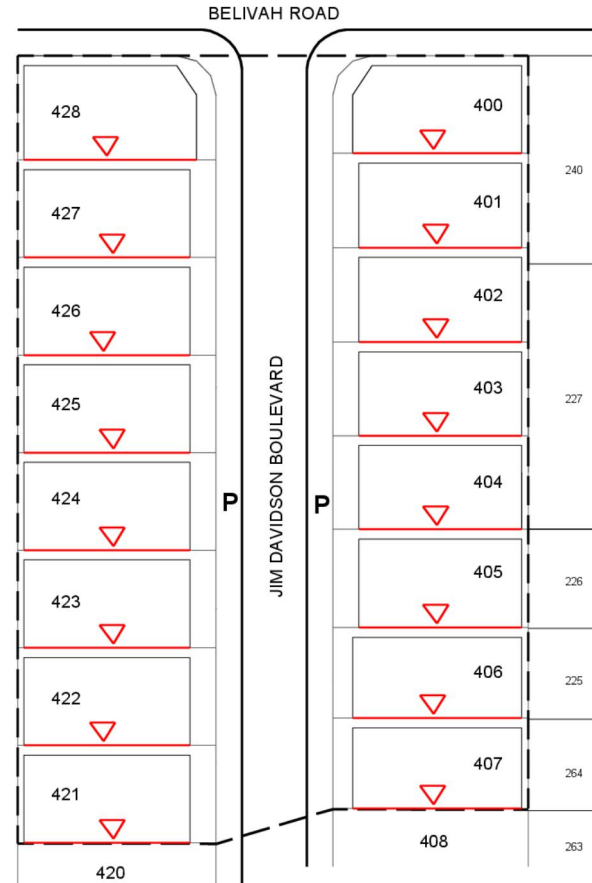
DRAWING NO: BLV019_DP 401

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|-----------|------|-------|------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m | | > 20m | |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE.

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



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EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

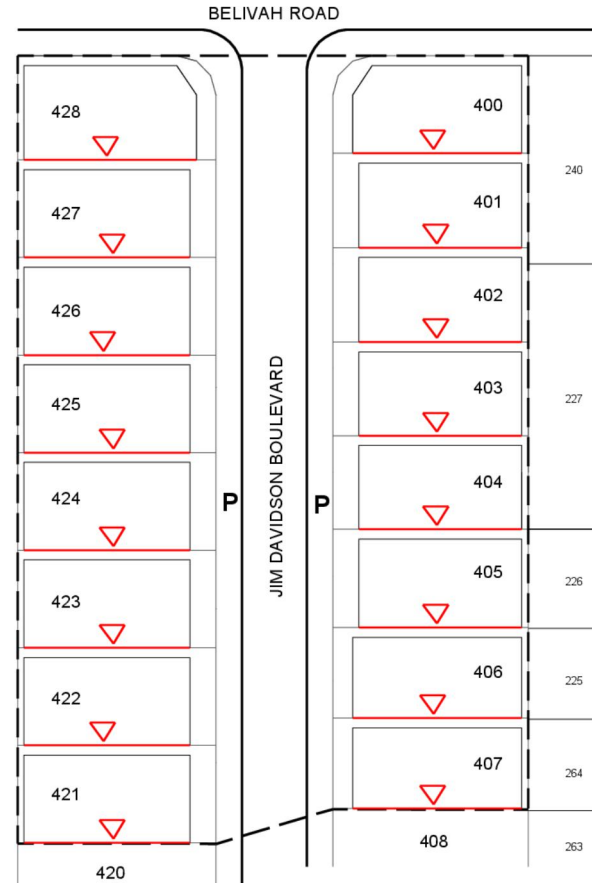
DRAWING NO: BLV019_DP401 SHEET 2 OF 2

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|-----------|------|-------|------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m | | > 20m | |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

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- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
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EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

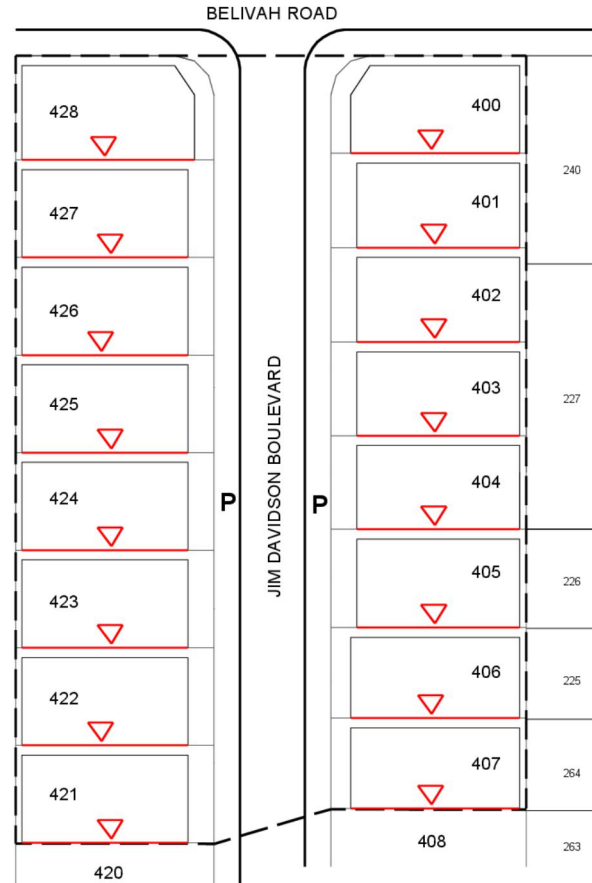
DRAWING NO: BLV019_DP402 SHEET 2 OF 2

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|-----------|------|-------|------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m | | > 20m | |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

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- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
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- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
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CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP403 SHEET 2 OF 2

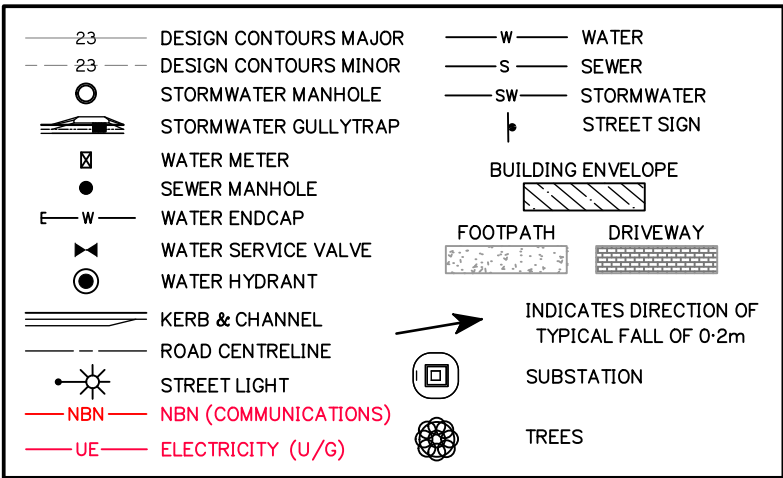
| BELIVAH ROAD | |
|--------------|-----|
| 428 | 400 |
| 427 | 401 |
| 426 | 402 |
| 425 | 403 |
| 424 | |
| 423 | 405 |
| 422 | 406 |
| 421 | 407 |
| 420 | 408 |

LOCALITY DIAGRAM

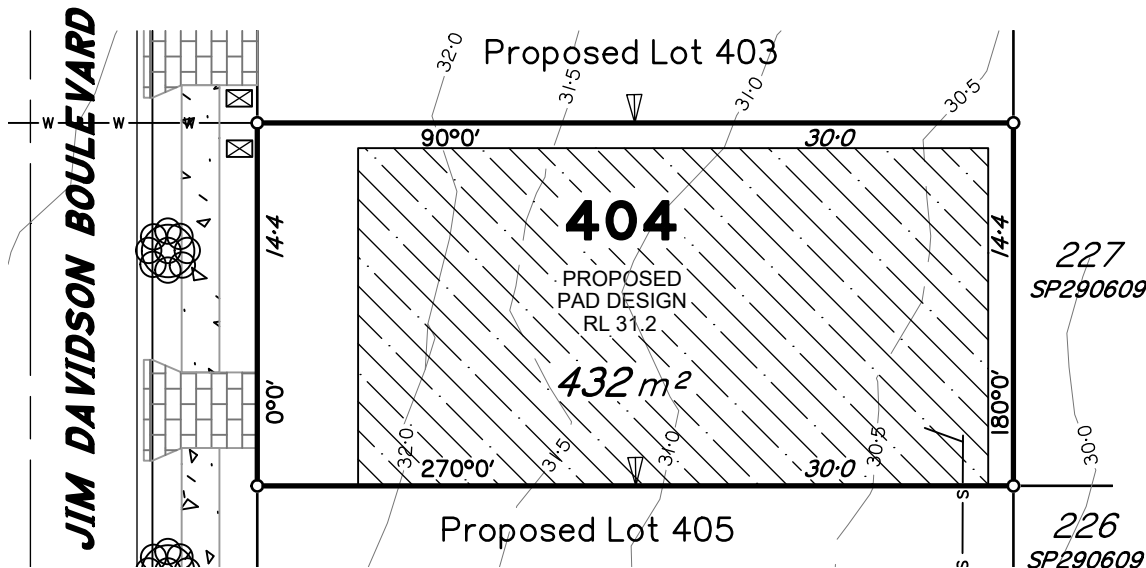
DRAFT

See also
SHEET 2
of this drawing
which refers to
Bldg Envelope
.....
.....
Sheet 8
Bldg Setbacks

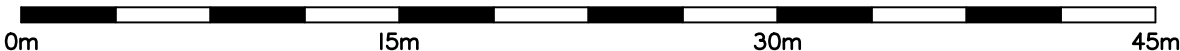
LEGEND



Add 9°24'40" for
MGA Zone 56



Scale 1 : 300 (at A4)



DISCLOSURE PLAN

For Lot 404 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

| | | | |
|------------------|--------------|----------|---------|
| DATE | 25/08/25 | SURVEYED | — |
| SCALE | 1 : 300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |



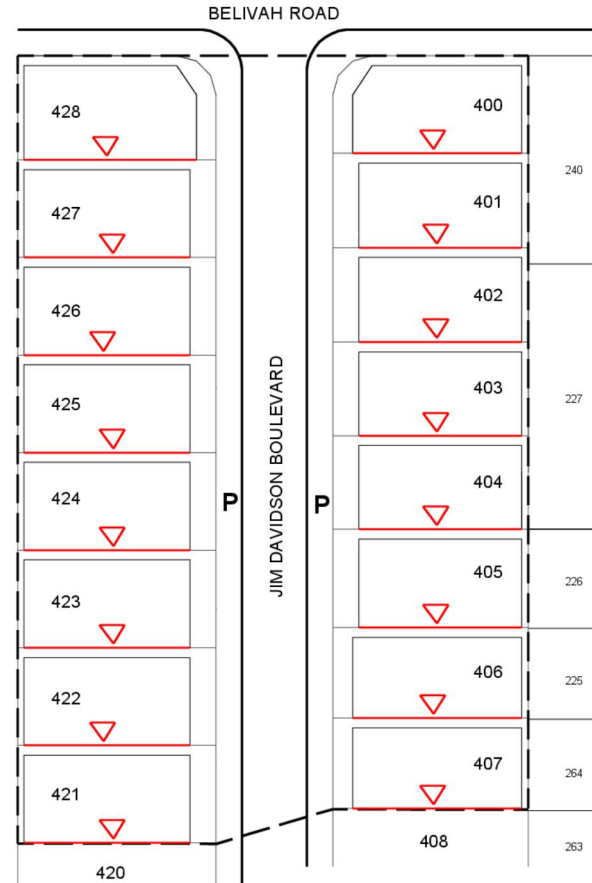
DRAWING NO: BLV019_DP 404

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|---------------------|--------------------|-----------------|----------------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m GROUND | 20m - 25m UPPER | > 25m GROUND | > 25m UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE.

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
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CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP404 SHEET 2 OF 2

| BELIVAH | ROAD |
|---------|------|
| 428 | 400 |
| 427 | 401 |
| 426 | 402 |
| 425 | 403 |
| 424 | 404 |
| 423 | 226 |
| 422 | 406 |
| 421 | 407 |
| 420 | 408 |

LOCALITY DIAGRAM

DRAFT

See also
SHEET 2
of this drawing
which refers to
Bldg Envelope

.....

.....

Sheet 8
Bldg Setbacks

LEGEND

- 23

DESIGN CONTOURS MAJOR

23

DESIGN CONTOURS MINOR

STORMWATER MANHOLE

STORMWATER GULLYTRAP

WATER METER

SEWER MANHOLE

E W

WATER ENDCAP

WATER SERVICE VALVE

WATER HYDRANT

KERB & CHANNEL

ROAD CENTRELINE

STREET LIGHT

NBN

NBN (COMMUNICATIONS)

UE

ELECTRICITY (U/G)
- W

WATER
- S

SEWER
- SW

STORMWATER
- STREET SIGN
- BUILDING ENVELOPE
- FOOTPATH
- DRIVEWAY
- INDICATES DIRECTION OF
TYPICAL FALL OF 0.2m
- SUBSTATION
- TREES

DISCLOSURE PLAN

For Lot 405 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

| | | | |
|-------------|------------|----------|---------|
| DATE | 25/08/25 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |

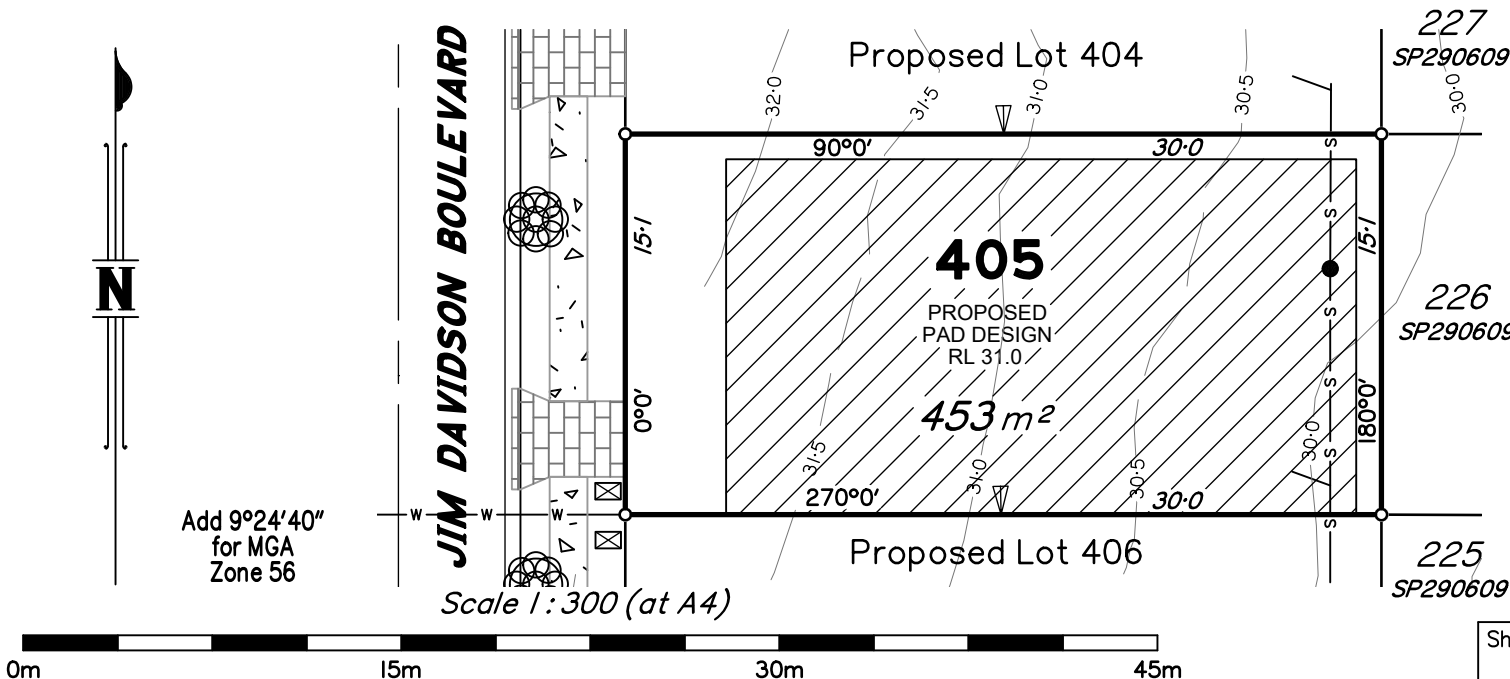
CONTOUR INTERVAL 0.5m



DRAWING NO: BLV019_DP 405

Sheet
1
of
2

BD25177

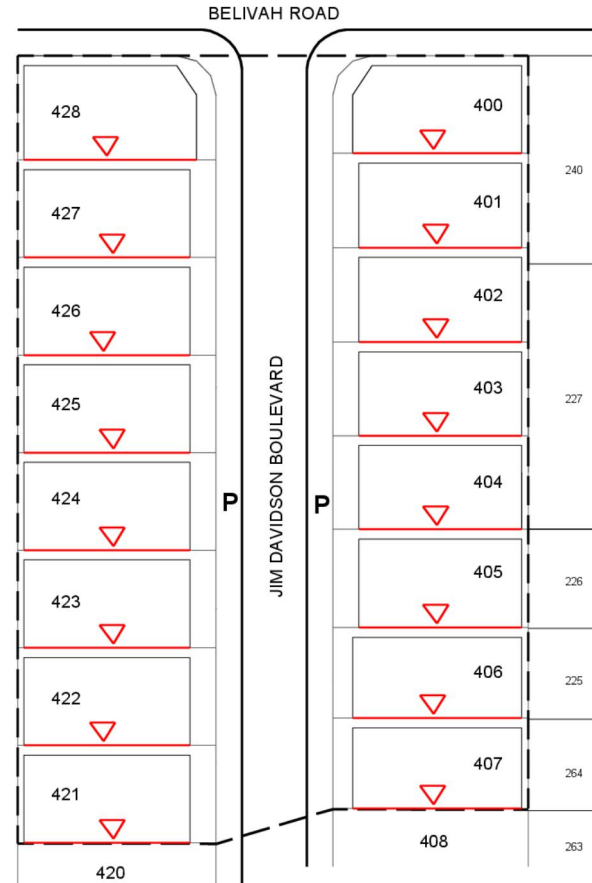


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|---------------------|--------------------|-----------------|----------------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m GROUND | 20m - 25m UPPER | > 25m GROUND | > 25m UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
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 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE.

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
N H VOLKER & Co. PTY. LTD.
P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP405 SHEET 2 OF 2

| BELIVAH ROAD | |
|--------------|-----|
| 428 | 400 |
| 427 | 401 |
| 426 | 402 |
| 425 | 403 |
| 424 | 404 |
| 423 | 405 |
| 422 | 225 |
| 421 | 407 |
| 420 | 408 |

LOCALITY DIAGRAM

DRAFT

See also
SHEET 2
of this drawing
which refers to
Bldg Envelope
.....
.....
Sheet 8
Bldg Setbacks

LEGEND

- 23

DESIGN CONTOURS MAJOR

23

DESIGN CONTOURS MINOR

STORMWATER MANHOLE

STORMWATER GULLYTRAP

WATER METER

SEWER MANHOLE

E-W

WATER ENDCAP

WATER SERVICE VALVE

WATER HYDRANT

KERB & CHANNEL

ROAD CENTRELINE

STREET LIGHT

NBN

NBN (COMMUNICATIONS)

UE

ELECTRICITY (U/G)
- W

WATER
- S

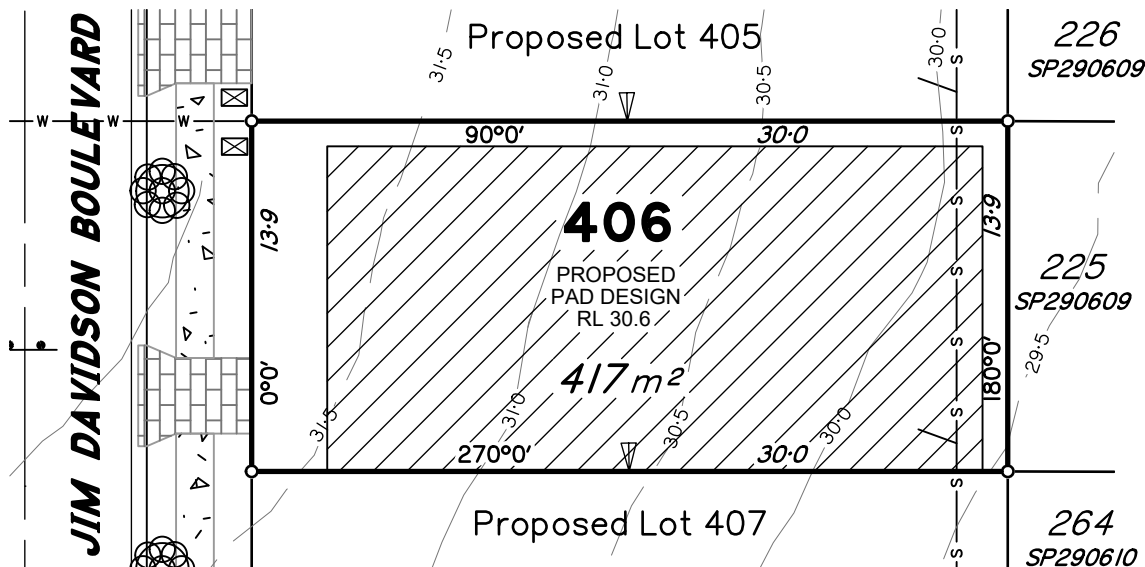
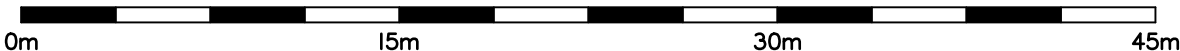
SEWER
- SW

STORMWATER
- STREET SIGN
- BUILDING ENVELOPE
- FOOTPATH
- DRIVEWAY
- INDICATES DIRECTION OF
TYPICAL FALL OF 0.2m
- SUBSTATION
- TREES



Add 9°24'40"
for MGA
Zone 56

Scale 1 : 300 (at A4)



DISCLOSURE PLAN

For Lot 406 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan.
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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

| | | | |
|-------------|--------------|----------|---------|
| DATE | 25/08/25 | SURVEYED | - |
| SCALE | 1 : 300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |

CONTOUR INTERVAL 0.5m



DRAWING NO: BLV019_DP 406

Sheet
1 of
2

Sheet
1 of
2

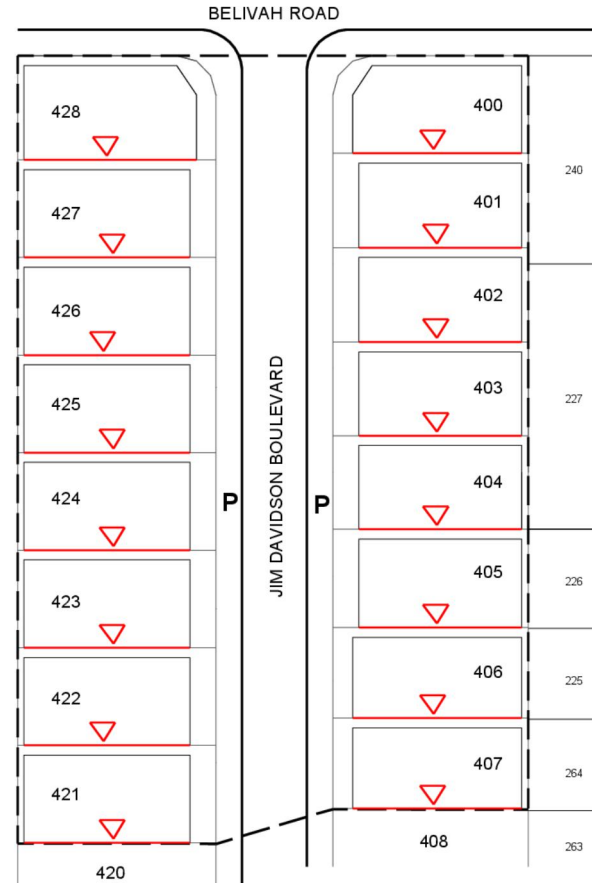
BD25177

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|-----------|------|-------|------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m | | > 20m | |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5m FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE.

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



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CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP406 SHEET 2 OF 2

| BELIVAH | ROAD |
|---------------------|------|
| 428 | 400 |
| 427 | 401 |
| 426 | 402 |
| 425 | 403 |
| 424 | 404 |
| 423 | 405 |
| 422 | 406 |
| 421 | 264 |
| 420 | 408 |
| 297 SP 244304 | 240 |
| | 227 |
| | 226 |
| | 225 |
| | 263 |

LOCALITY DIAGRAM

DRAFT

See also
SHEET 2
of this drawing
which refers to
Bldg Envelope
.....
.....
Sheet 8
Bldg Setbacks

LEGEND

| | | | |
|------------|-----------------------|--------|--|
| — 23 — | DESIGN CONTOURS MAJOR | — W — | WATER |
| - - 23 - - | DESIGN CONTOURS MINOR | — S — | SEWER |
| ○ | STORMWATER MANHOLE | — SW — | STORMWATER |
| — | STORMWATER GULLYTRAP | — | STREET SIGN |
| ⊗ | WATER METER | | BUILDING ENVELOPE |
| ● | SEWER MANHOLE | | FOOTPATH |
| — W — | WATER ENDCAP | | DRIVEWAY |
| ⊗ | WATER SERVICE VALVE | | INDICATES DIRECTION OF TYPICAL FALL OF 0.2m |
| ⊙ | WATER HYDRANT | | SUBSTATION |
| — | KERB & CHANNEL | | TREES |
| — | ROAD CENTRELINE | | |
| — | STREET LIGHT | | |
| — NBN — | NBN (COMMUNICATIONS) | | |
| — UE — | ELECTRICITY (U/G) | | |

DISCLOSURE PLAN

For Lot 407 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

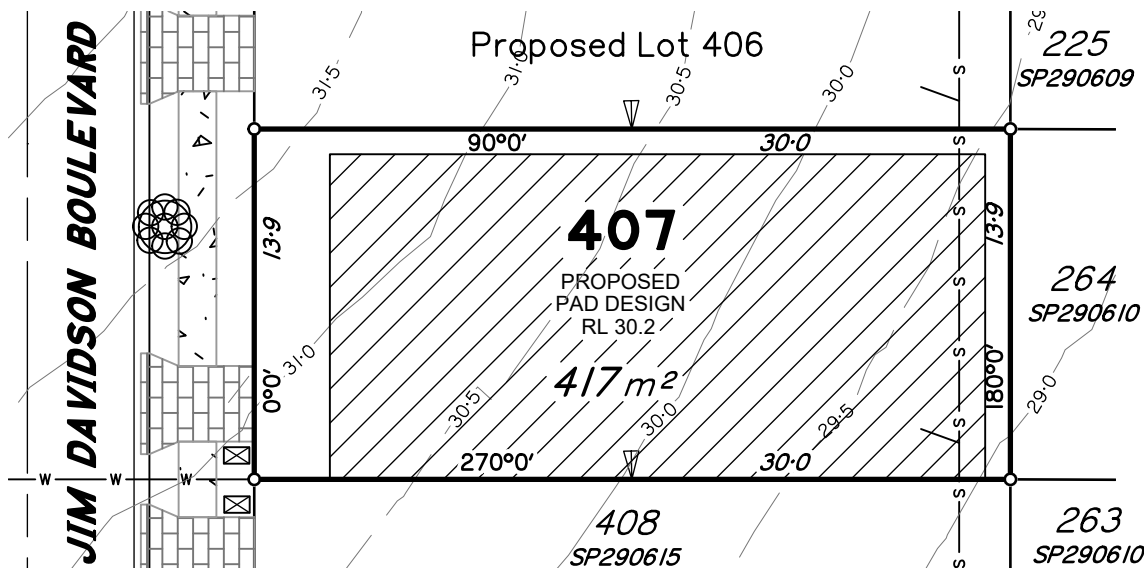
Neville Henry VOLKER
Cadastral Surveyor

| | | | |
|-------------|------------|----------|---------|
| DATE | 25/08/25 | SURVEYED | — |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |

CONTOUR INTERVAL 0.5m

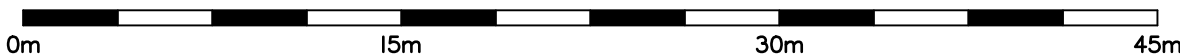


DRAWING NO: BLV019_DP 407



Add 9°24'40"
for MGA
Zone 56

Scale 1:300 (at A4)



Sheet
1 of
2

Sheet
1
of
2

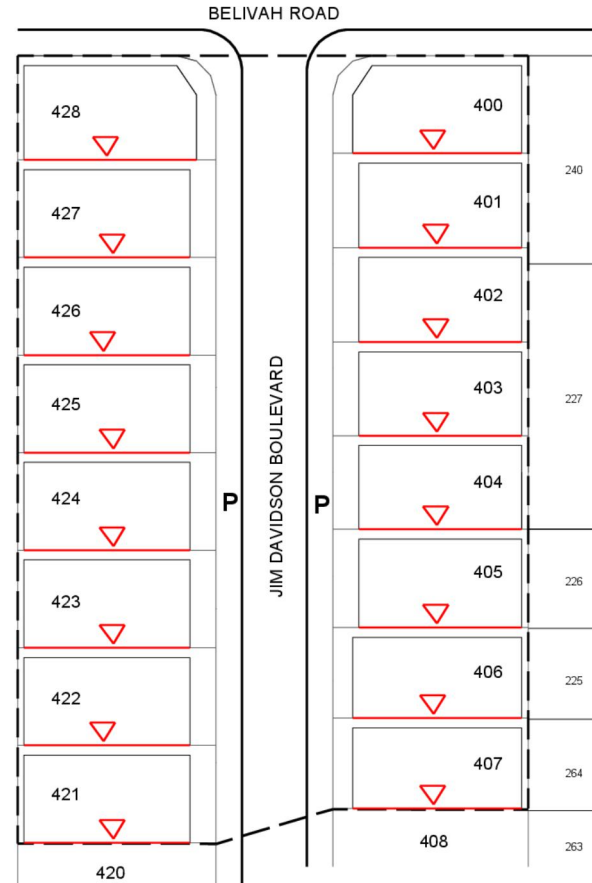
BD25177

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|---------------------|--------------------|-----------------|----------------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m GROUND | 20m - 25m UPPER | > 25m GROUND | > 25m UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE.

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
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EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

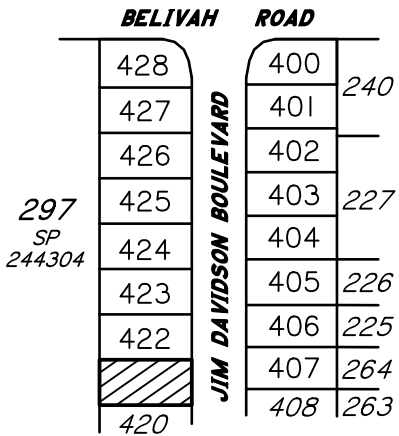
Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP407 SHEET 2 OF 2

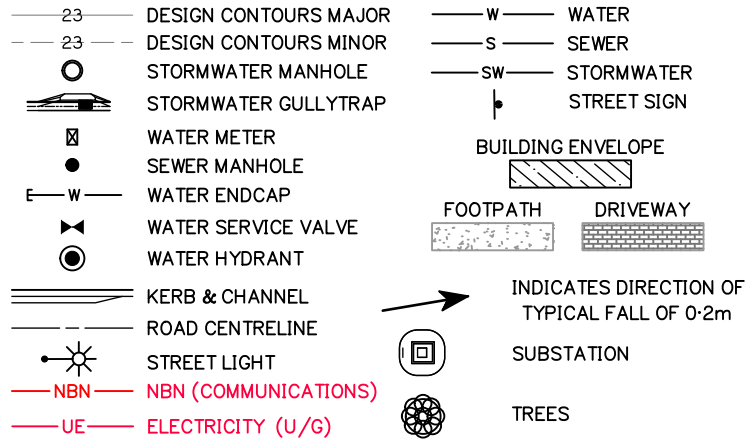


LOCALITY DIAGRAM

DRAFT

See also
SHEET 2
of this drawing
which refers to
Bldg Envelope
.....
.....
Sheet 8
Bldg Setbacks

LEGEND



DISCLOSURE PLAN

For Lot 421 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

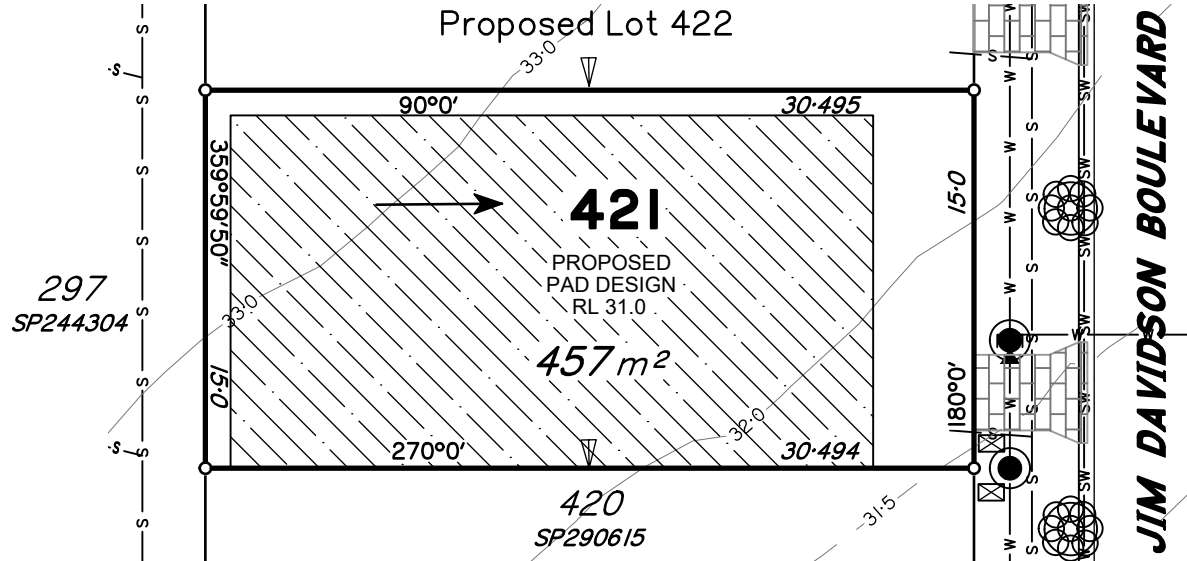
Date:

| | | | |
|------------------|------------|----------|---------|
| DATE | 25/08/25 | SURVEYED | — |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | | 0.5m | |



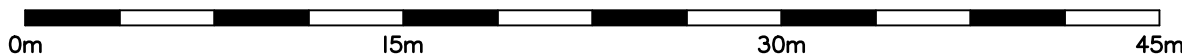
DRAWING NO: BLV019_DP 421

Proposed Lot 422



Add 9°24'40"
for MGA
Zone 56

Scale 1:300 (at A4)



Sheet 1 of 2

Sheet 1 of 2

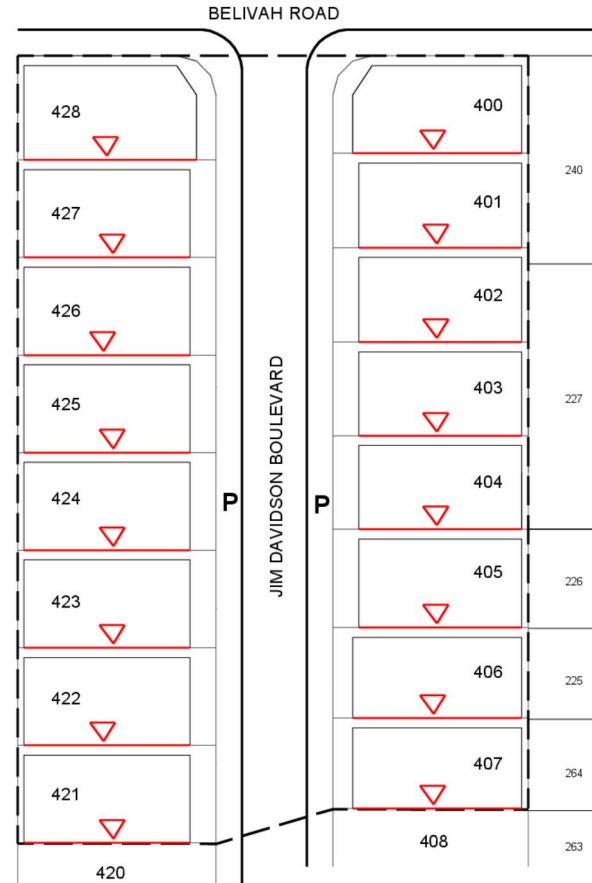
BD25177

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|---------------------|--------------------|-----------------|----------------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m GROUND | 20m - 25m UPPER | > 25m GROUND | > 25m UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE.

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
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EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

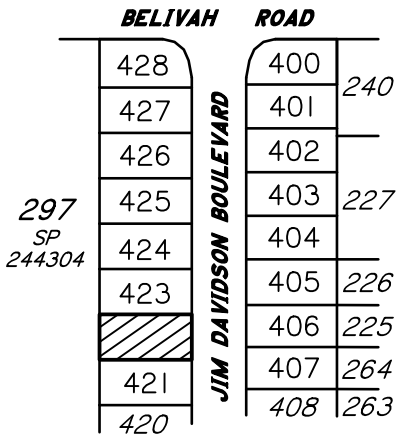
Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP421 SHEET 2 OF 2

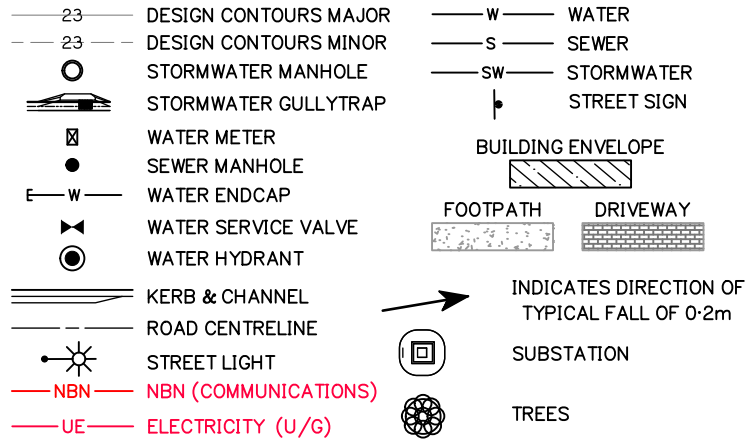


LOCALITY DIAGRAM

DRAFT

See also
SHEET 2
of this drawing
which refers to
Bldg Envelope
.....
.....
Sheet 8
Bldg Setbacks

LEGEND



DISCLOSURE PLAN

For Lot 422 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

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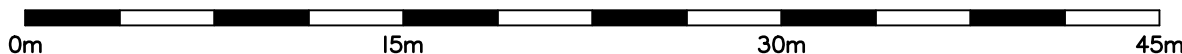
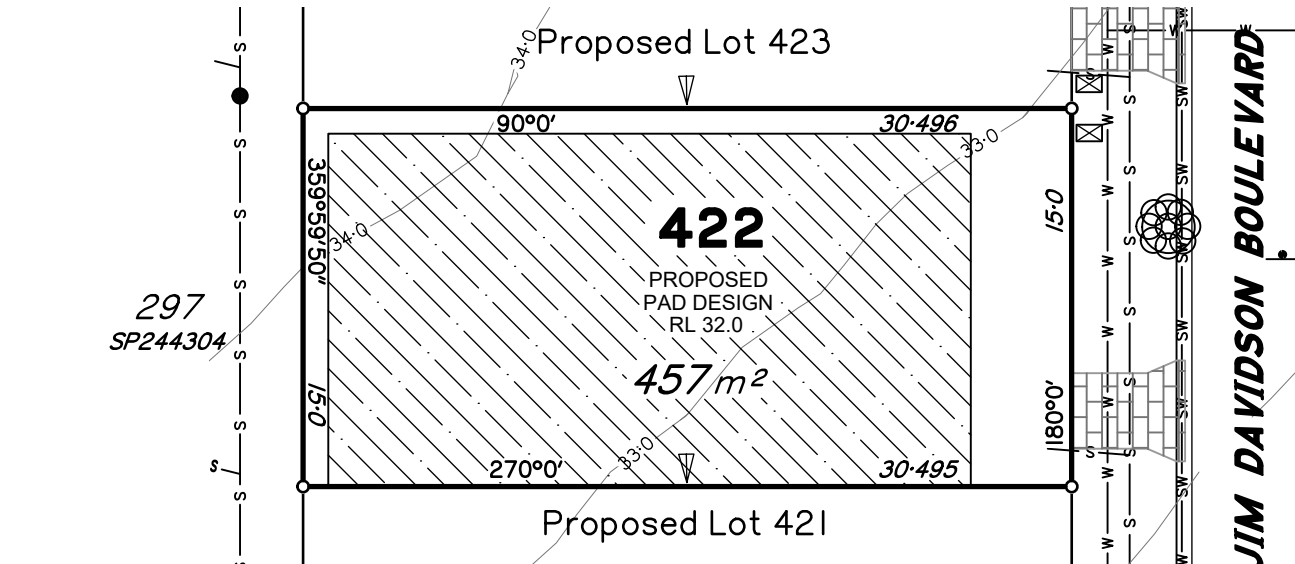
AUTHORISATION:

Neville Henry VOLKER Date:
Cadastral Surveyor

| | | | |
|------------------|------------|----------|---------|
| DATE | 25/08/25 | SURVEYED | — |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | | 0.5m | |



DRAWING NO: BLV019_DP 422



Sheet 1 of 2

Sheet 1 of 2

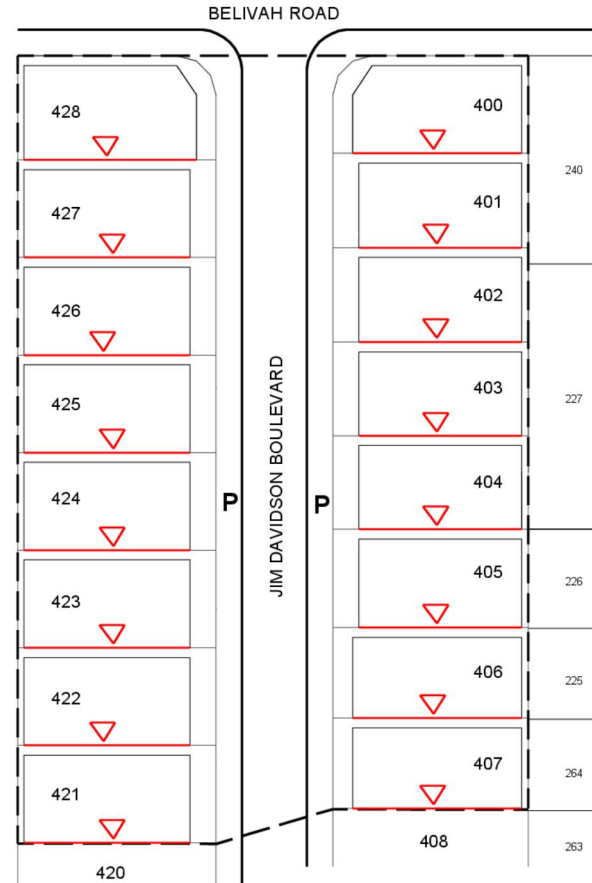
BD25177

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|-----------|------|-------|------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m | | > 20m | |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
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 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
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- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



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EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP422 SHEET 2 OF 2

| BELIVAH ROAD | | |
|--------------|-----|-----|
| 428 | 400 | 240 |
| 427 | 401 | |
| 426 | 402 | |
| 425 | 403 | 227 |
| 424 | 404 | |
| | 405 | 226 |
| | 406 | 225 |
| | 407 | 264 |
| | 408 | 263 |

LOCALITY DIAGRAM

DRAFT

See also
SHEET 2
of this drawing
which refers to
Bldg Envelope

.....

.....

Sheet 8
Bldg Setbacks

LEGEND

- 23

DESIGN CONTOURS MAJOR

23

DESIGN CONTOURS MINOR

STORMWATER MANHOLE

STORMWATER GULLYTRAP

WATER METER

SEWER MANHOLE

E W

WATER ENDCAP

WATER SERVICE VALVE

WATER HYDRANT

KERB & CHANNEL

ROAD CENTRELINE

STREET LIGHT

NBN

NBN (COMMUNICATIONS)

UE

ELECTRICITY (U/G)
- W

WATER
- S

SEWER
- SW

STORMWATER
- STREET SIGN
- BUILDING ENVELOPE
- FOOTPATH
- DRIVEWAY
- INDICATES DIRECTION OF
TYPICAL FALL OF 0.2m
- SUBSTATION
- TREES

DISCLOSURE PLAN

For Lot 423 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

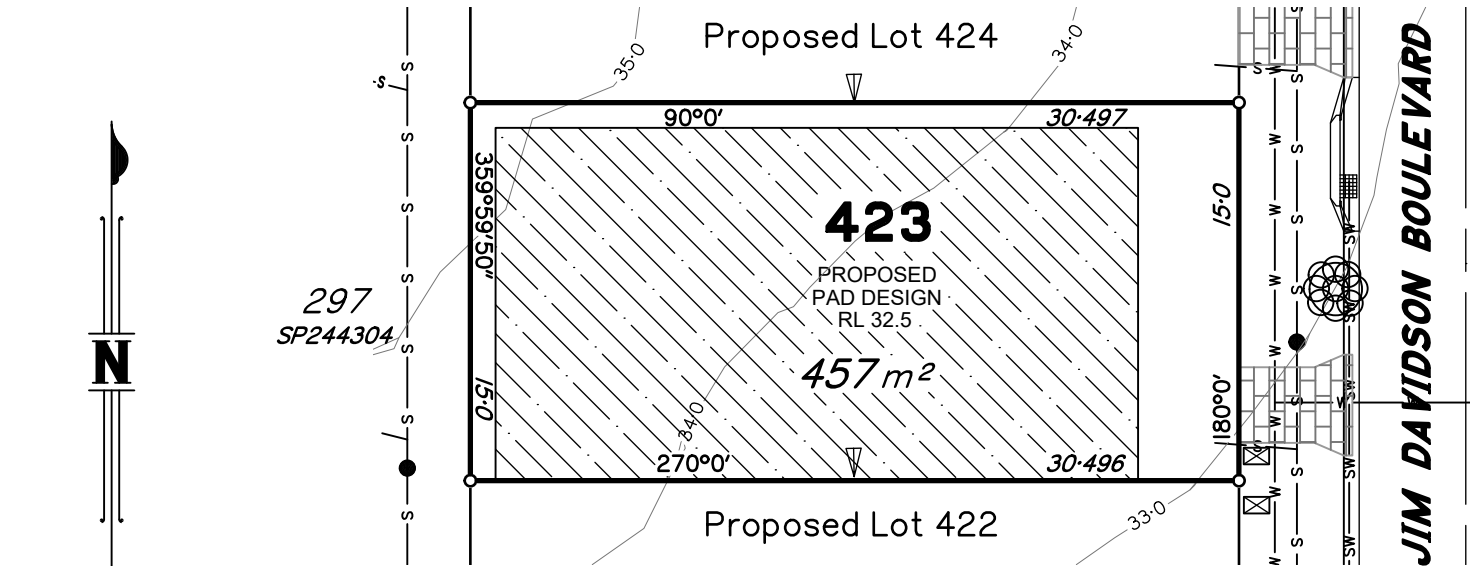
Date:

| | | | |
|------------------|------------|----------|---------|
| DATE | 25/08/25 | SURVEYED | — |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |



Davidson's
At
BELIVAH

DRAWING NO: BLV019_DP 423



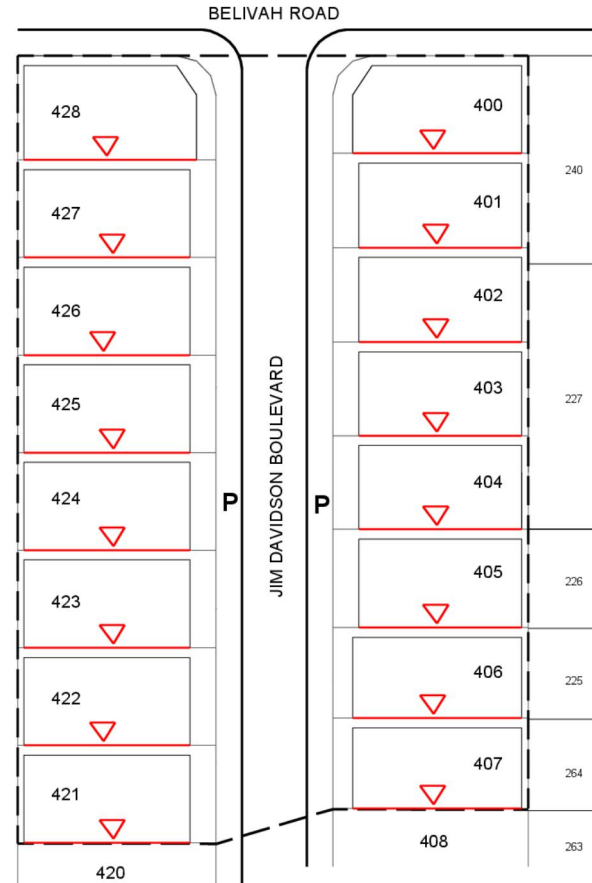
Add 9°24'40"
for MGA
Zone 56

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|---------------------|--------------------|-----------------|----------------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m GROUND | 20m - 25m UPPER | > 25m GROUND | > 25m UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE.

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
N H VOLKER & Co. PTY. LTD.
P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP423 SHEET 2 OF 2

| BELIVAH ROAD | | |
|--------------|-----|-----|
| 428 | 400 | 240 |
| 427 | 401 | |
| 426 | 402 | |
| 425 | 403 | 227 |
| 424 | 404 | |
| 423 | 405 | 226 |
| 422 | 406 | 225 |
| 421 | 407 | 264 |
| 420 | 408 | 263 |

LOCALITY DIAGRAM

DRAFT

See also
SHEET 2
of this drawing
which refers to
Bldg Envelope
.....
.....
Sheet 8
Bldg Setbacks

LEGEND

- 23

DESIGN CONTOURS MAJOR

23

DESIGN CONTOURS MINOR

STORMWATER MANHOLE

STORMWATER GULLYTRAP

WATER METER

SEWER MANHOLE

E W

WATER ENDCAP

WATER SERVICE VALVE

WATER HYDRANT

KERB & CHANNEL

ROAD CENTRELINE

STREET LIGHT

NBN

NBN (COMMUNICATIONS)

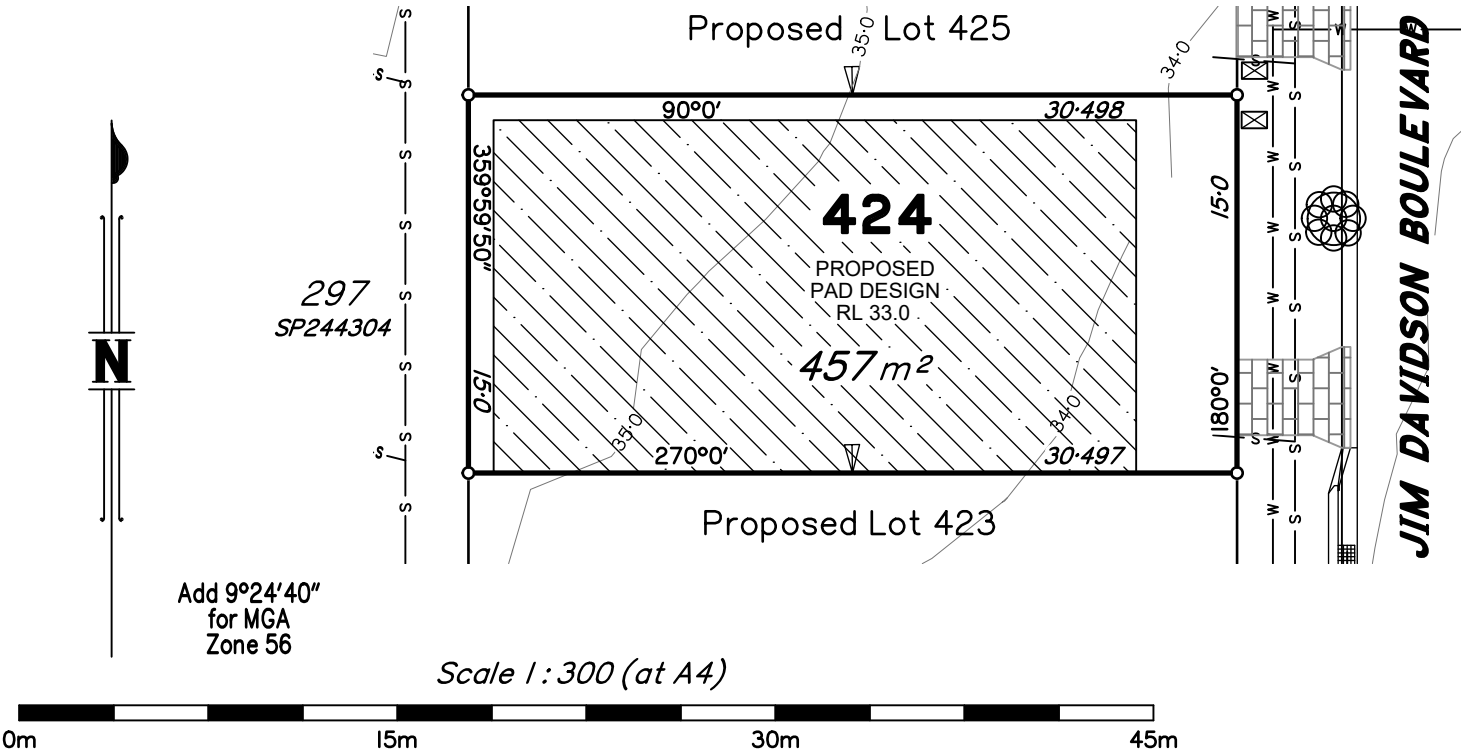
UE

ELECTRICITY (U/G)
- W

WATER
- S

SEWER
- SW

STORMWATER
- STREET SIGN
- BUILDING ENVELOPE
- FOOTPATH
- DRIVEWAY
- INDICATES DIRECTION OF
TYPICAL FALL OF 0.2m
- SUBSTATION
- TREES



DISCLOSURE PLAN

For Lot 424 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan. This plan has been prepared for Davidsons At Belivah for the purposes of a Disclosure Plan under the Land Sales Act 1984. It is not to be used for any other purpose and is subject to the following limitations. The lot dimensions and areas shown hereon are subject to final survey and also subject to Council and other authorities. Notwithstanding the limits of filling shown, the actual limits shall be determined on site by the engineer during construction. Compaction of any fill material placed on this site shall be completed under inspection and testing services in accordance with AS3798-2007. Location of sewer, stormwater, water, electric and communications are shown from engineering drawings and may differ from the as constructed location. These drawings are copyright and are not to be used or reproduced without the written permission of NH Volker and Co Pty Ltd.

AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

| | | | |
|------------------|------------|----------|---------|
| DATE | 25/08/25 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |



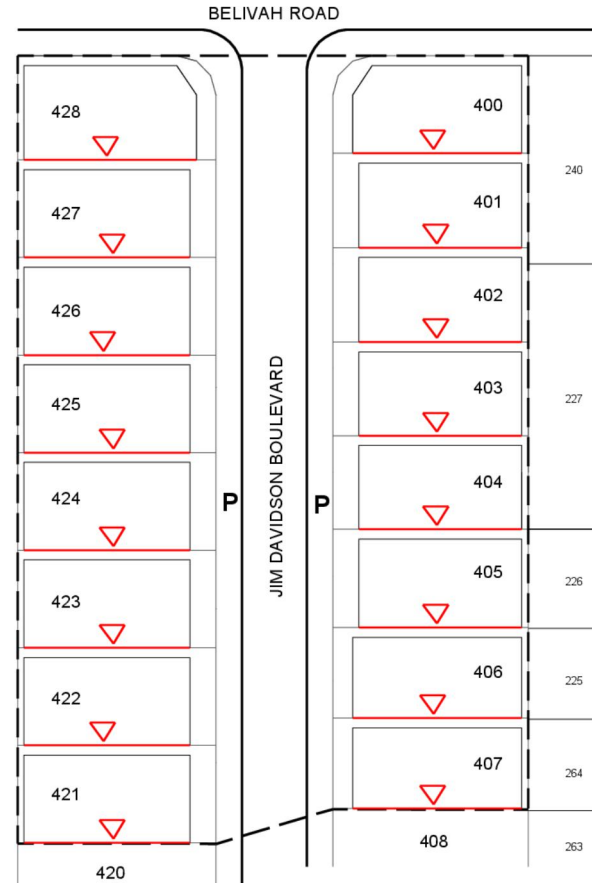
DRAWING NO: BLV019_DP 424

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|-----------|------|-------|------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m | | > 20m | |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE.

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
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P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

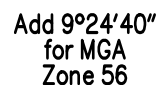
DRAWING NO: BLV019_DP424 SHEET 2 OF 2



See also
SHEET 2
of this drawing
which refers to
Bldg Envelope
.....
.....
.....
Sheet 8
Bldg Setbacks

| | | | |
|--|-----------------------|--|--|
| | DESIGN CONTOURS MAJOR | | WATER |
| | DESIGN CONTOURS MINOR | | SEWER |
| | STORMWATER MANHOLE | | STORMWATER |
| | STORMWATER GULLYTRAP | | STREET SIGN |
| | WATER METER | | BUILDING ENVELOPE |
| | SEWER MANHOLE | | FOOTPATH |
| | WATER ENDCAP | | DRIVEWAY |
| | WATER SERVICE VALVE | | INDICATES DIRECTION OF TYPICAL FALL OF 0.2m |
| | WATER HYDRANT | | SUBSTATION |
| | KERB & CHANNEL | | TREES |
| | ROAD CENTRELINE | | |
| | STREET LIGHT | | |
| | NBN (COMMUNICATIONS) | | |
| | ELECTRICITY (U/G) | | |

Davidson's
At
BELIVAH



| | |
|------------|---------|
| Sheet 1 | of 2 |
|------------|---------|

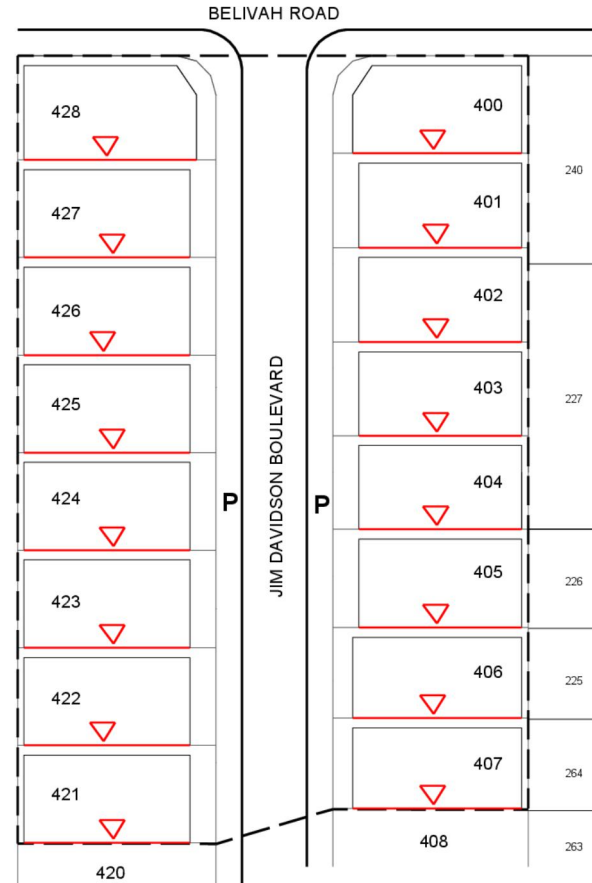
DRAWING NO: BLV019_DP 425

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|---------------------|--------------------|-----------------|----------------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m GROUND | 20m - 25m UPPER | > 25m GROUND | > 25m UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE.

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
N H VOLKER & Co. PTY. LTD.
P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

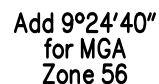
Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP425 SHEET 2 OF 2



See also
SHEET 2
of this drawing
which refers to
Bldg Envelope
.....
.....
.....
Sheet 8
Bldg Setbacks

| | | | |
|--|-----------------------|--|--|
| | DESIGN CONTOURS MAJOR | | WATER |
| | DESIGN CONTOURS MINOR | | SEWER |
| | STORMWATER MANHOLE | | STORMWATER |
| | STORMWATER GULLYTRAP | | STREET SIGN |
| | WATER METER | | BUILDING ENVELOPE |
| | SEWER MANHOLE | | FOOTPATH |
| | WATER ENDCAP | | DRIVEWAY |
| | WATER SERVICE VALVE | | INDICATES DIRECTION OF TYPICAL FALL OF 0.2m |
| | WATER HYDRANT | | SUBSTATION |
| | KERB & CHANNEL | | TREES |
| | ROAD CENTRELINE | | |
| | STREET LIGHT | | |
| | NBN (COMMUNICATIONS) | | |
| | ELECTRICITY (U/G) | | |



Davidson's
At
BELIVAH

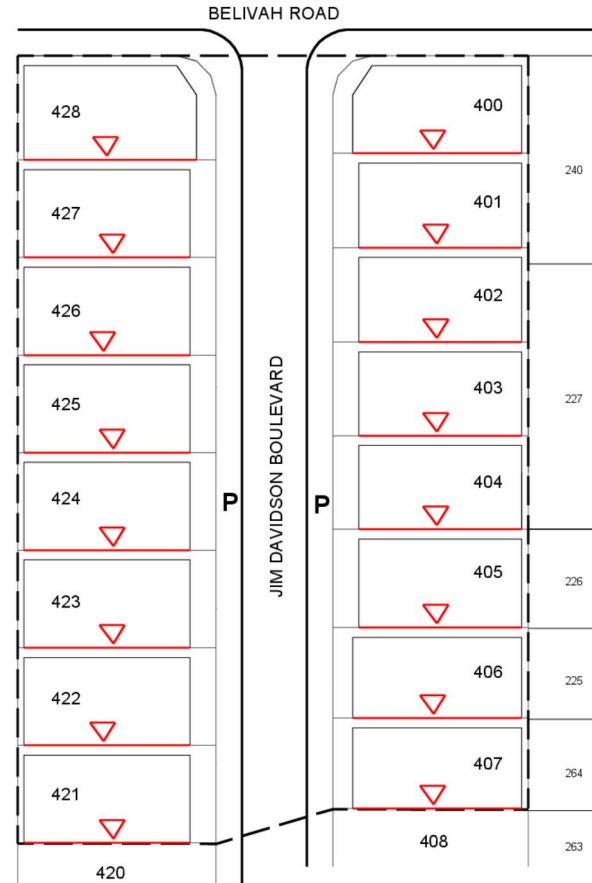
DRAWING NO: BLV019_DP 426

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|-----------|------|-------|------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m | | > 20m | |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
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 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE.

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
N H VOLKER & Co. PTY. LTD.
P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP426 SHEET 2 OF 2



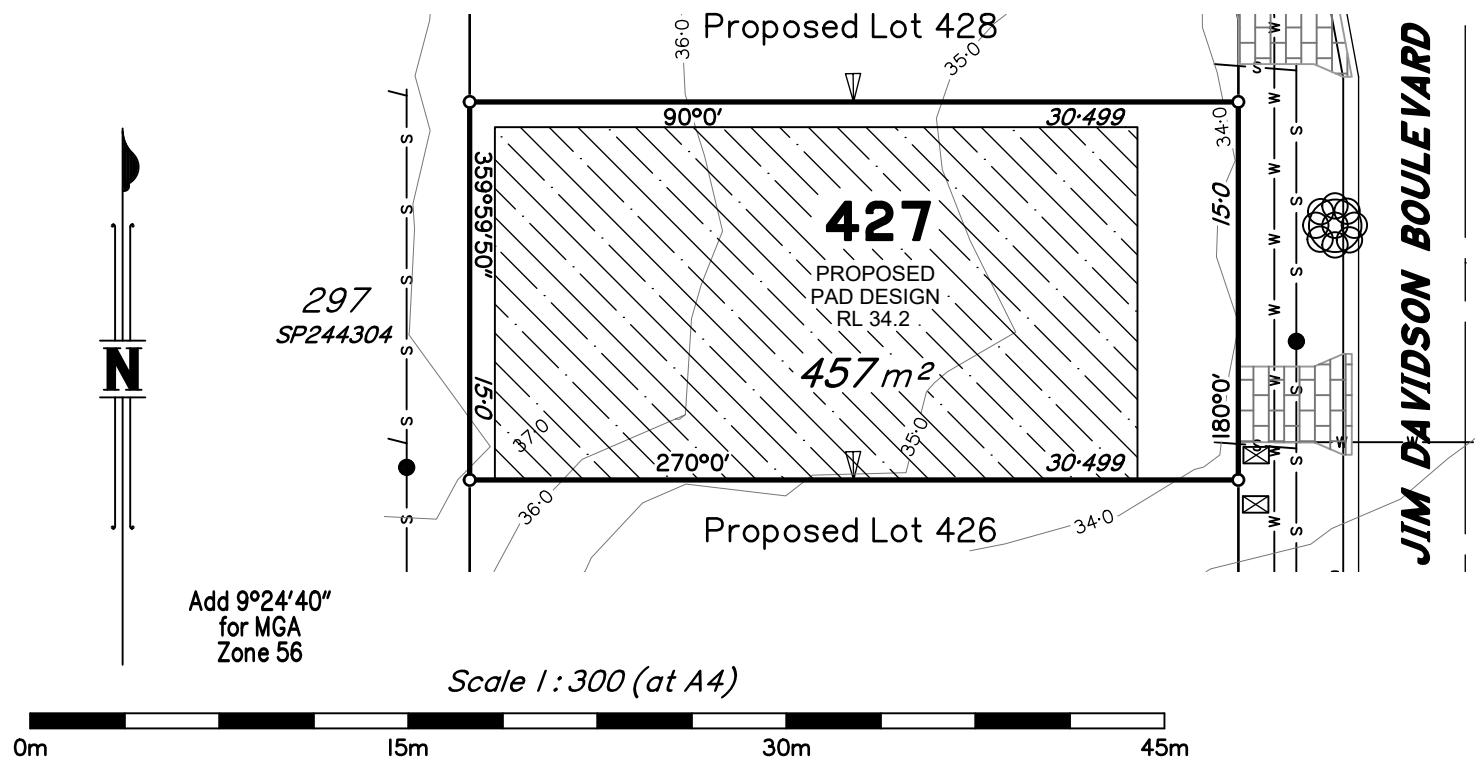
See also
SHEET 2
of this drawing
which refers to
Bldg Envelope
.....
.....
.....
Sheet 8
Bldg Setbacks

| | | | |
|--|-----------------------|--|--|
| | DESIGN CONTOURS MAJOR | | WATER |
| | DESIGN CONTOURS MINOR | | SEWER |
| | STORMWATER MANHOLE | | STORMWATER |
| | STORMWATER GULLYTRAP | | STREET SIGN |
| | WATER METER | | BUILDING ENVELOPE |
| | SEWER MANHOLE | | FOOTPATH |
| | WATER ENDCAP | | DRIVEWAY |
| | WATER SERVICE VALVE | | INDICATES DIRECTION OF TYPICAL FALL OF 0.2m |
| | WATER HYDRANT | | SUBSTATION |
| | KERB & CHANNEL | | TREES |
| | ROAD CENTRELINE | | |
| | STREET LIGHT | | |
| | NBN (COMMUNICATIONS) | | |
| | ELECTRICITY (U/G) | | |

Davidson's
At
BELIVAH

| | |
|------------|---------|
| Sheet 1 | BD25177 |
| of 2 | |

| | |
|---|---------|
| t | BD25177 |
|---|---------|

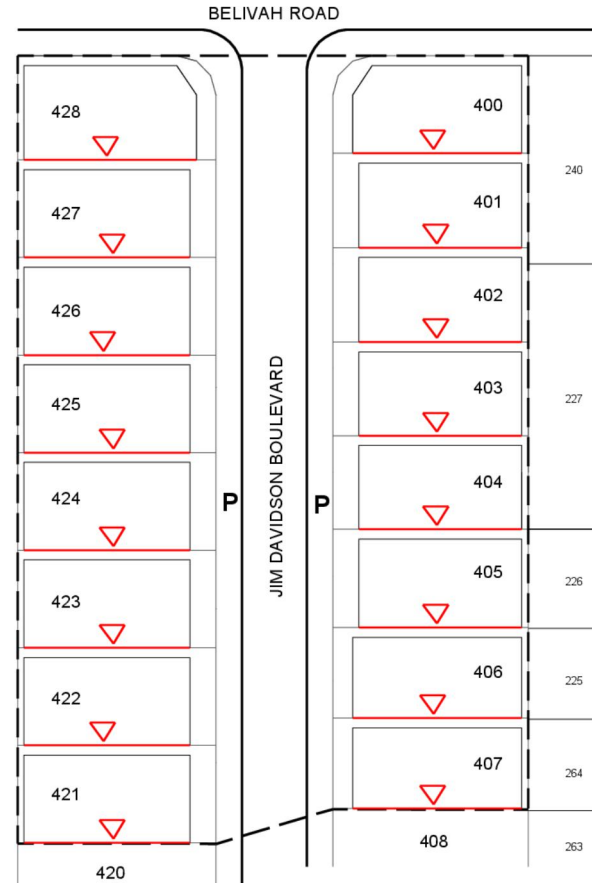


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|---------------------|--------------------|-----------------|----------------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m GROUND | 20m - 25m UPPER | > 25m GROUND | > 25m UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE.

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
N H VOLKER & Co. PTY. LTD.
P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP427 SHEET 2 OF 2

| BELIVAH ROAD | |
|--------------|-----|
| 400 | 240 |
| 401 | |
| 402 | |
| 403 | 227 |
| 404 | |
| 405 | 226 |
| 406 | 225 |
| 407 | 264 |
| 408 | 263 |

297
SP
244304

JIM DAVIDSON BOULEVARD

LOCALITY DIAGRAM

DRAFT

LEGEND

- 23

DESIGN CONTOURS MAJOR

23

DESIGN CONTOURS MINOR

STORMWATER MANHOLE

STORMWATER GULLYTRAP

WATER METER

SEWER MANHOLE

W

WATER ENDCAP

WATER SERVICE VALVE

WATER HYDRANT

KERB & CHANNEL

ROAD CENTRELINE

STREET LIGHT

NBN

NBN (COMMUNICATIONS)

UE

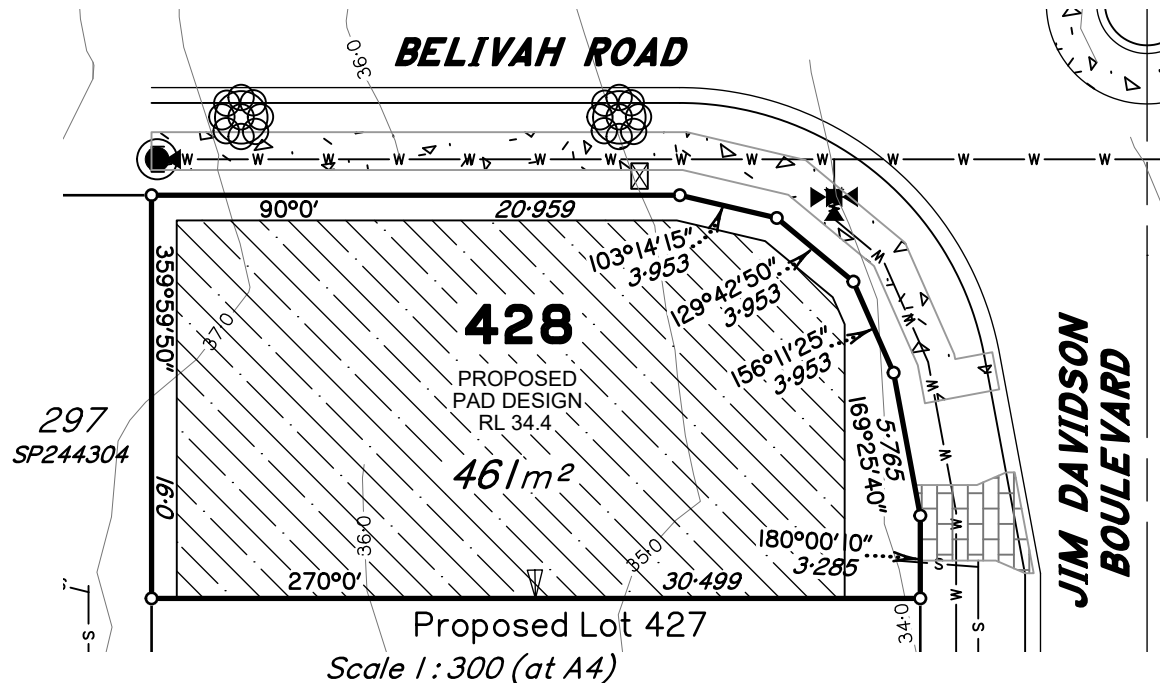
ELECTRICITY (U/G)
- W

WATER
- S

SEWER
- SW

STORMWATER
- STREET SIGN
- BUILDING ENVELOPE
- FOOTPATH
- DRIVEWAY
- INDICATES DIRECTION OF
TYPICAL FALL OF 0.2m
- SUBSTATION
- TREES

Add 9°24'40" for
MGA Zone 56



Proposed Lot 427
Scale 1: 300 (at A4)



DISCLOSURE PLAN

For Lot 428 (on SP290617)
Jim Davidson Boulevard,
Belivah Road
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan. This plan has been prepared for Davidsons At Belivah for the purposes of a Disclosure Plan under the Land Sales Act 1984. It is not to be used for any other purpose and is subject to the following limitations. The lot dimensions and areas shown hereon are subject to final survey and also subject to Council and other authorities. Notwithstanding the limits of filling shown, the actual limits shall be determined on site by the engineer during construction. Compaction of any fill material placed on this site shall be completed under inspection and testing services in accordance with AS3798-2007. Location of sewer, stormwater, water, electric and communications are shown from engineering drawings and may differ from the as constructed location. These drawings are copyright and are not to be used or reproduced without the written permission of NH Volker and Co Pty Ltd.

AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

Date:

| | | | |
|------------------|-------------|----------|---------|
| DATE | 25/08/25 | SURVEYED | — |
| SCALE | 1: 300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | | 0.5m | |



DRAWING NO: BLV019_DP 428

Sheet
1

of
2

Sheet
1
of
2

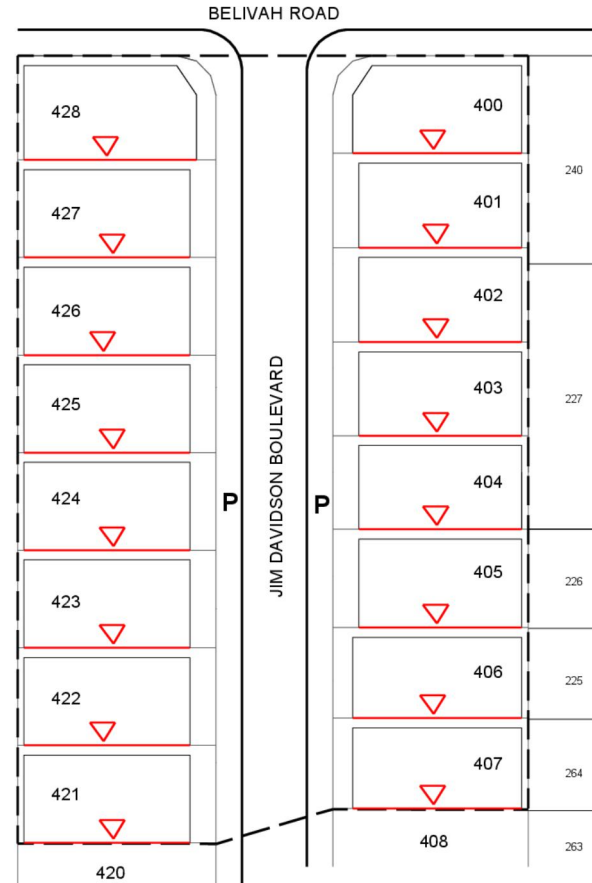
BD25177

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| SETBACKS (unless notified otherwise) | | | | | |
|--------------------------------------|-------------------------|-----------|------|-------|------|
| STREET SETBACK | LOT WIDTH | | | | |
| | < 14m GROUND & UPPER | 14m - 20m | | > 20m | |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE.

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
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PROPOSED LOTS
400-407 & 421-428

PROJECT: DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
REVISION. - V1

DATE: 26/11/2024
DRAWN: BD
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Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP428 SHEET 2 OF 2