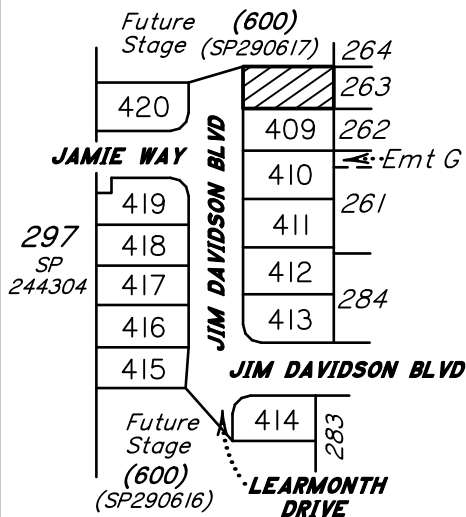


DRAFT

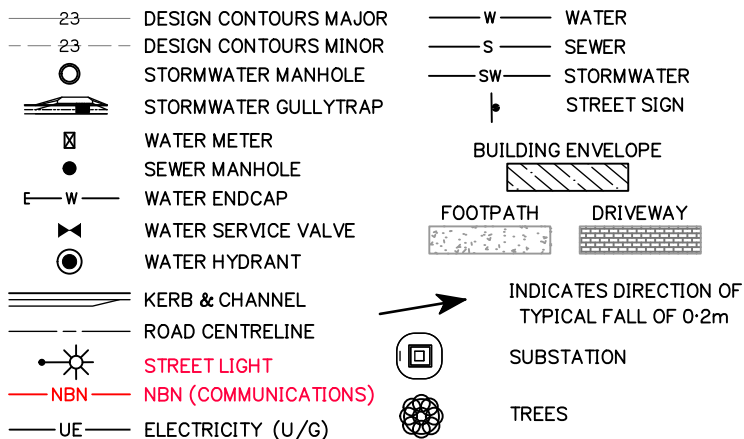


LOCALITY DIAGRAM

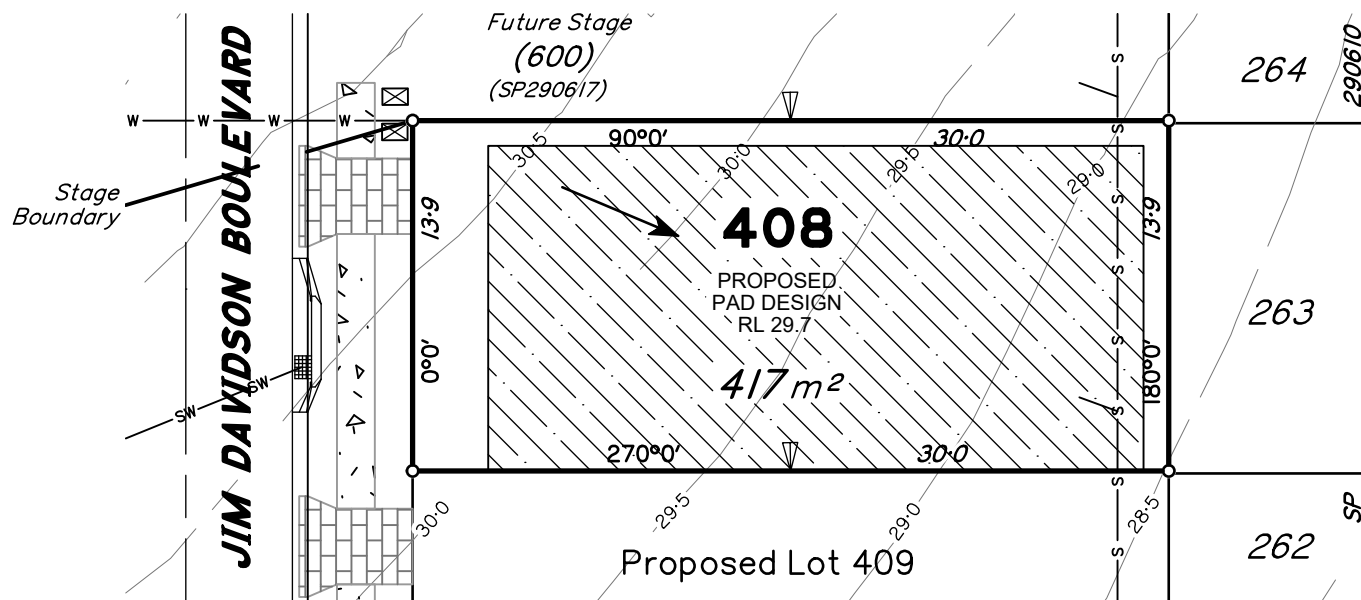
See also
SHEET 2
of this drawing
which refers to
Bldg Envelope

Sheet 6
Bldg Setbacks

LEGEND



Add 9°24'40" for
MGA Zone 56



DISCLOSURE PLAN

For Lot 408 (on SP290615)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 4 on SP290608
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

Date:

DATE	25/08/25	SURVEYED	—
SCALE	1 : 300 (A4)	DRAWN	BD25175
LEVEL DATUM	A.H.D	CHECKED	NHV
CONTOUR INTERVAL		0.5m	



Davidson's
At
BELIVAH

DRAWING NO: BLV017_DP 408

Sheet
1 of
2

Sheet
1 of
2

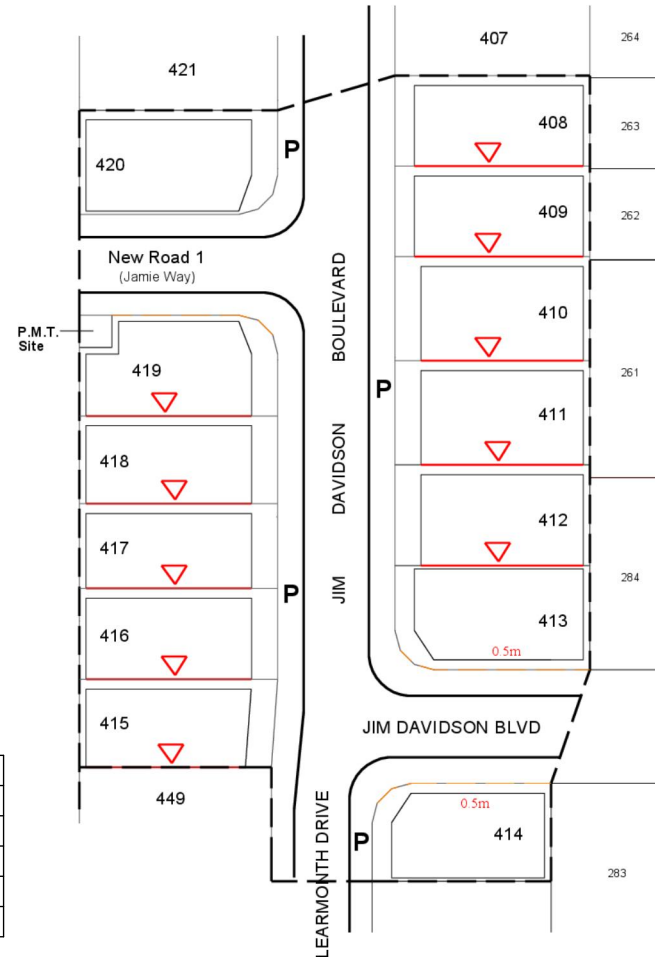
BD25175

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4A



SCALE: 1:750 @ A3



STAGE 4A STATISTICS		
LOT SIZE	NO.	%
G.T. 500m ²	0	0
400-500m ²	12	90
300-400m ²	1	10
L.T. 300m ²	0	0
TOTAL	13	100

SETBACKS (unless notified otherwise)					
STREET SETBACK	LOT WIDTH				
	< 14m GROUND & UPPER	14m - 20m GROUND	20m - 25m UPPER	> 25m GROUND	> 25m UPPER
PRIMARY STREET	3m	4m	4m	4.5m	4.5m
SECONDARY STREET	2m	2m	2m	2m	2m
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
N H VOLKER & Co. PTY. LTD.
P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 408-420

PROJECT: DAB - STAGES 4A

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

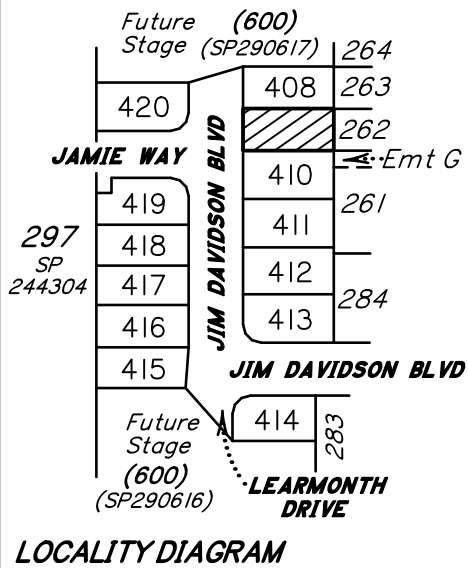
SHEET No. - 6 OF 9
REVISION. - V2

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV017_DP408 SHEET 2 OF 2

DRAFT



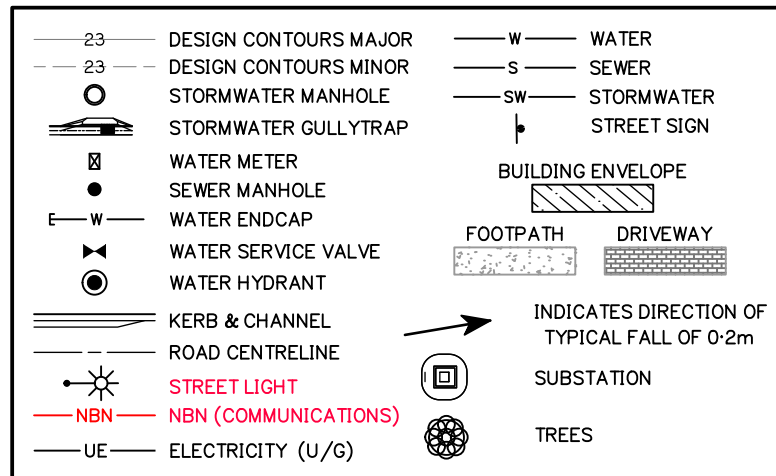
See also
SHEET 2
of this drawing
which refers to
Bldg Envelope

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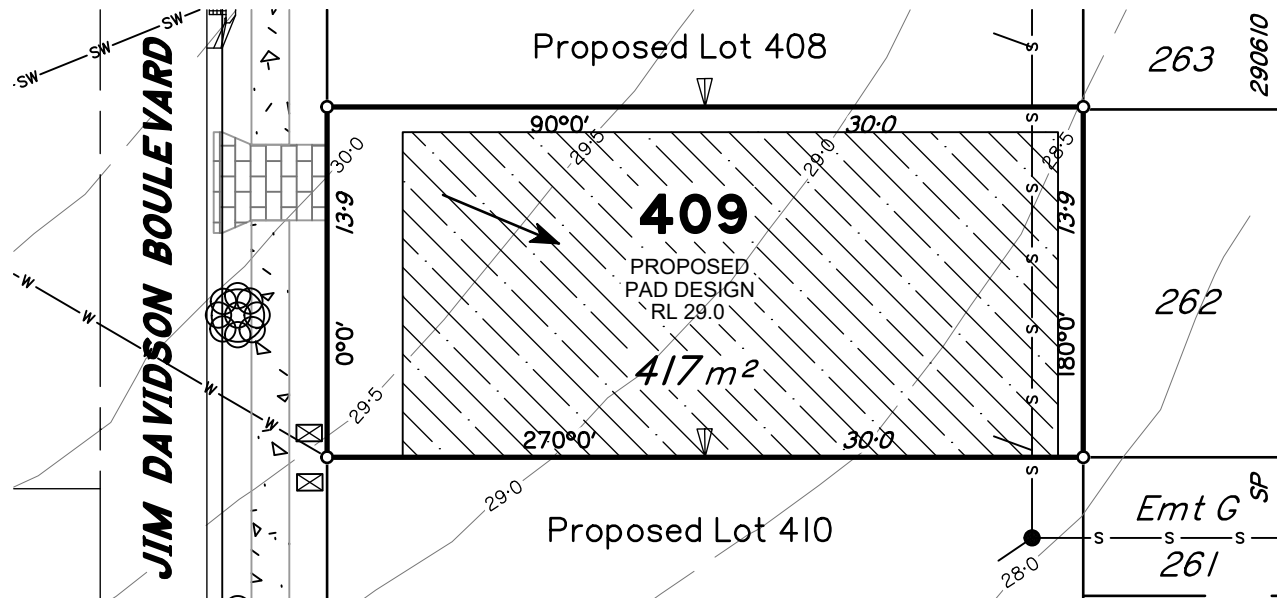
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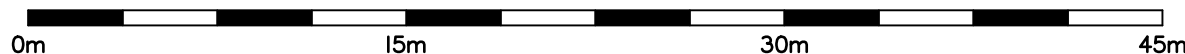
LEGEND



Add 9°24'40" for
MGA Zone 56



Scale 1 : 300 (at A4)



DISCLOSURE PLAN

For Lot 409 (on SP290615)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 4 on SP290608
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

Date:

DATE	25/08/25	SURVEYED	—
SCALE	1 : 300 (A4)	DRAWN	BD25175
LEVEL DATUM	A.H.D	CHECKED	NHV
CONTOUR INTERVAL		0.5m	



Davidson's
At
BELIVAH

Sheet
1

of
2

DRAWING NO: BLV017_DP 409

Sheet
1
of
2

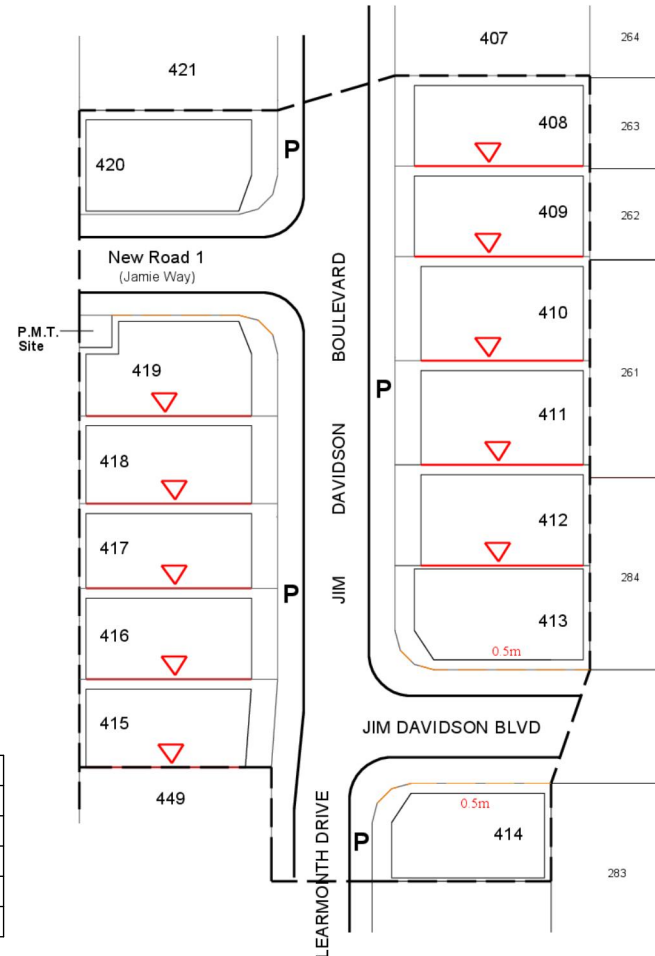
BD25175

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4A



SCALE: 1:750 @ A3



STAGE 4A STATISTICS		
LOT SIZE	NO.	%
G.T. 500m ²	0	0
400-500m ²	12	90
300-400m ²	1	10
L.T. 300m ²	0	0
TOTAL	13	100

SETBACKS (unless notified otherwise)					
STREET SETBACK	LOT WIDTH				
	< 14m	14m - 20m		> 20m	
	GROUND & UPPER	GROUND	UPPER	GROUND	UPPER
PRIMARY STREET	3m	4m	4m	4.5m	4.5m
SECONDARY STREET	2m	2m	2m	2m	2m
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
N H VOLKER & Co. PTY. LTD.
P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 408-420

PROJECT: DAB - STAGES 4A

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

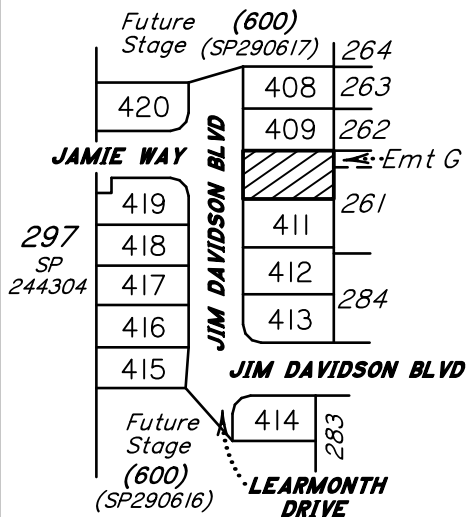
SHEET No. - 6 OF 9
REVISION. - V2

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV017_DP409 SHEET 2 OF 2

DRAFT

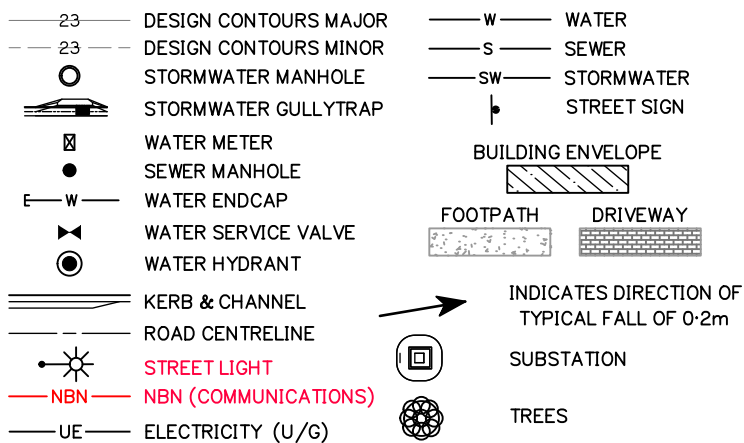


LOCALITY DIAGRAM

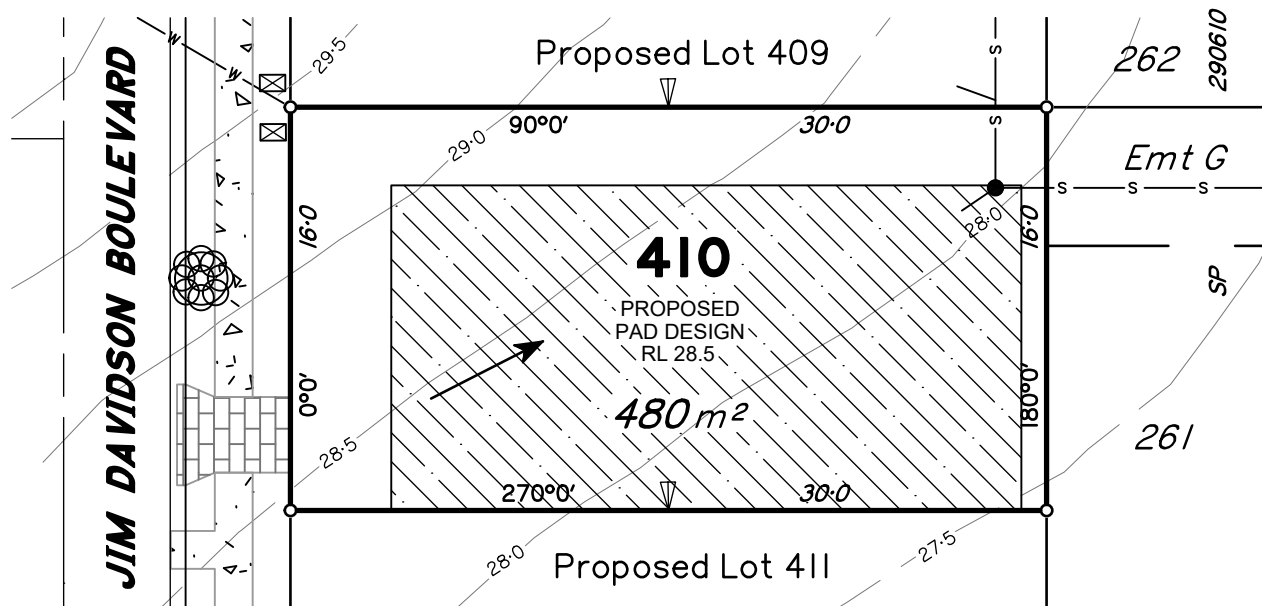
See also
SHEET 2
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Sheet 6
Bldg Setbacks

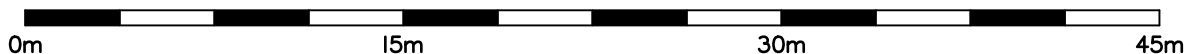
LEGEND



Add 9°24'40" for
MGA Zone 56



Scale 1 : 300 (at A4)



DISCLOSURE PLAN

For Lot 410 (on SP290615)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 4 on SP290608
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

Date:

DATE	25/08/25	SURVEYED	—
SCALE	1 : 300 (A4)	DRAWN	BD25175
LEVEL DATUM	A.H.D	CHECKED	NHV
CONTOUR INTERVAL		0.5m	



Davidson's
At
BELIVAH

Sheet
1

of
2

DRAWING NO: BLV017_DP 410

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of
2

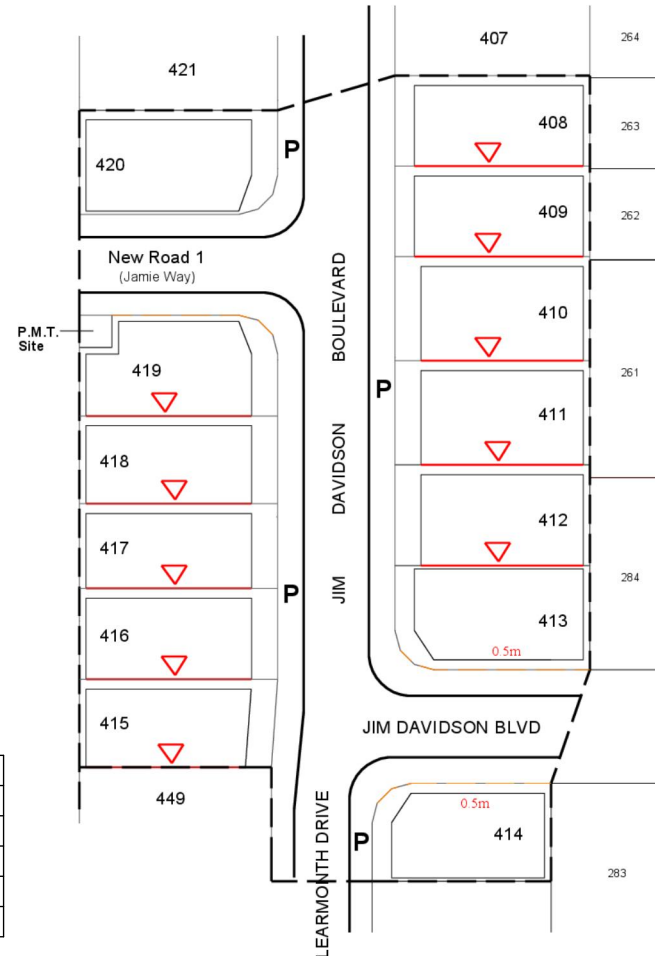
BD25175

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4A



SCALE: 1:750 @ A3



STAGE 4A STATISTICS		
LOT SIZE	NO.	%
G.T. 500m ²	0	0
400-500m ²	12	90
300-400m ²	1	10
L.T. 300m ²	0	0
TOTAL	13	100

SETBACKS (unless notified otherwise)					
STREET SETBACK	LOT WIDTH				
	< 14m	14m - 20m		> 20m	
	GROUND & UPPER	GROUND	UPPER	GROUND	UPPER
PRIMARY STREET	3m	4m	4m	4.5m	4.5m
SECONDARY STREET	2m	2m	2m	2m	2m
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
N H VOLKER & Co. PTY. LTD.
P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 408-420

PROJECT: DAB - STAGES 4A

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

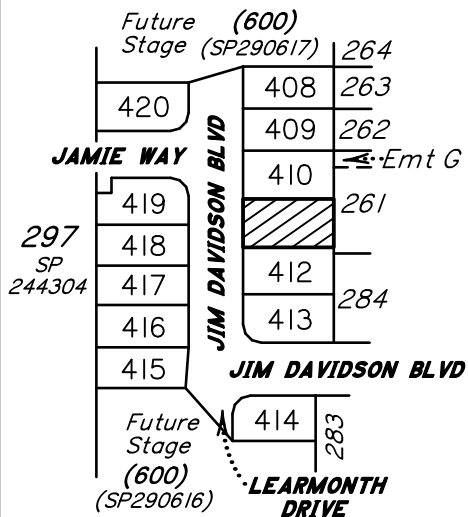
SHEET No. - 6 OF 9
REVISION. - V2

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV017_DP410 SHEET 2 OF 2

DRAFT



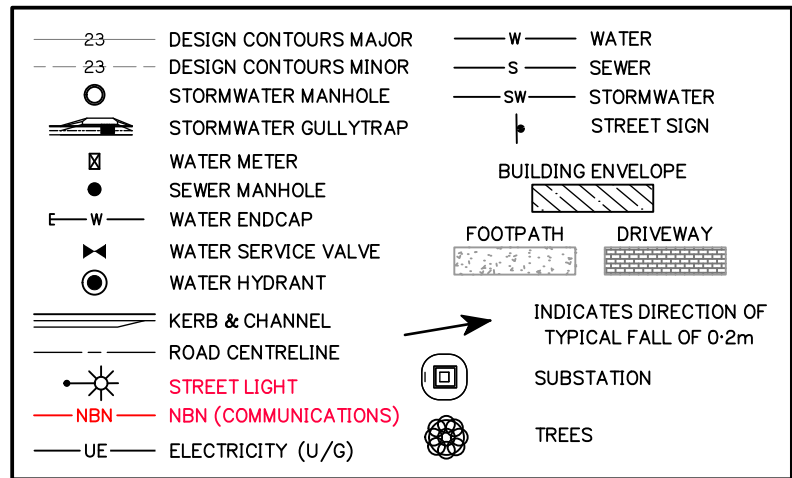
See also
SHEET 2
of this drawing
which refers to
Bldg Envelope

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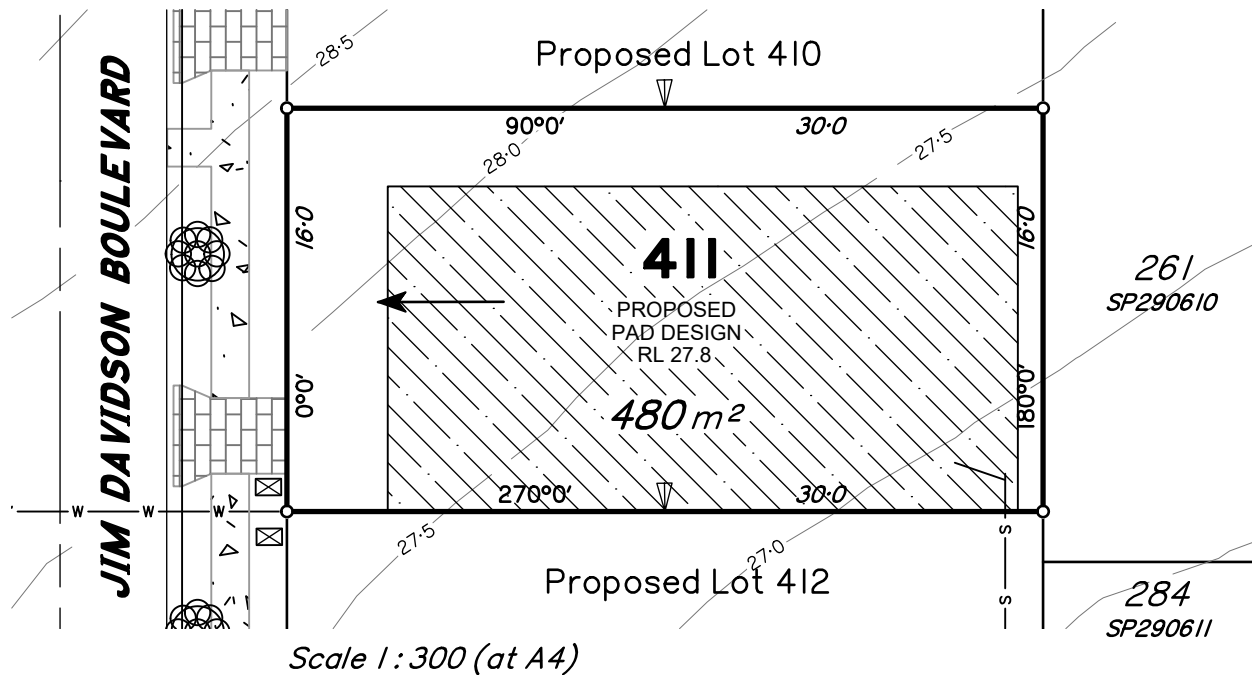
Sheet 6
Bldg Setbacks



LEGEND



Add 9°24'40" for
MGA Zone 56



DISCLOSURE PLAN

For Lot 411 (on SP290615)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 4 on SP290608
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

Date:

DATE	25/08/25	SURVEYED	—
SCALE	1 : 300 (A4)	DRAWN	BD25175
LEVEL DATUM	A.H.D	CHECKED	NHV
CONTOUR INTERVAL		0.5m	



Sheet
1

of
2

DRAWING NO: BLV017_DP 411

Sheet
1
of
2

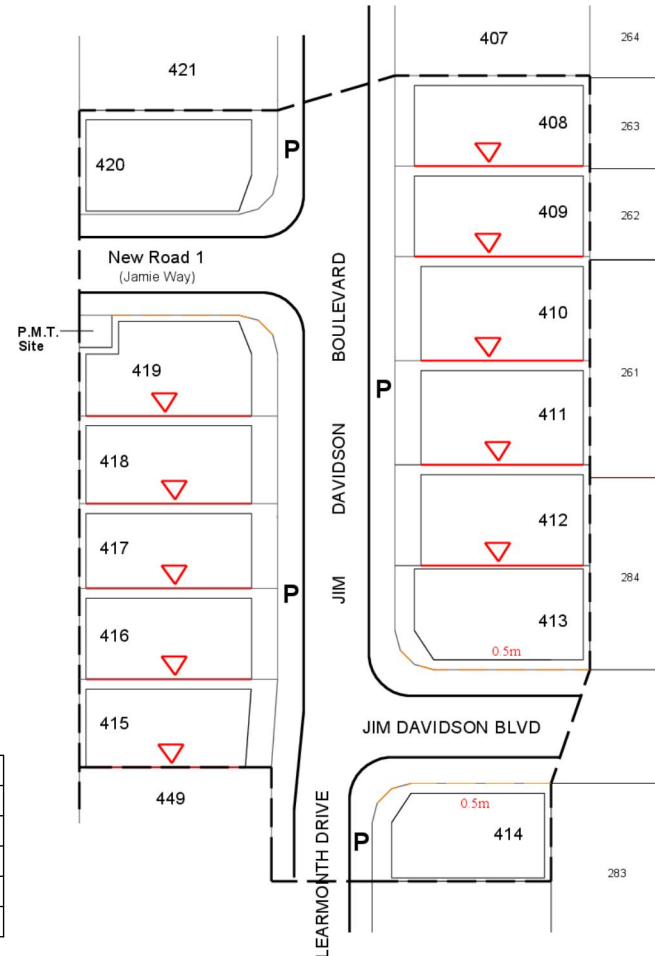
BD25175

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4A



SCALE: 1:750 @ A3



STAGE 4A STATISTICS		
LOT SIZE	NO.	%
G.T. 500m ²	0	0
400-500m ²	12	90
300-400m ²	1	10
L.T. 300m ²	0	0
TOTAL	13	100

SETBACKS (unless notified otherwise)					
STREET SETBACK	LOT WIDTH				
	< 14m	14m - 20m		> 20m	
	GROUND & UPPER	GROUND	UPPER	GROUND	UPPER
PRIMARY STREET	3m	4m	4m	4.5m	4.5m
SECONDARY STREET	2m	2m	2m	2m	2m
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m

NOTES:
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 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
N H VOLKER & Co. PTY. LTD.
P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 408-420

PROJECT: DAB - STAGES 4A

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

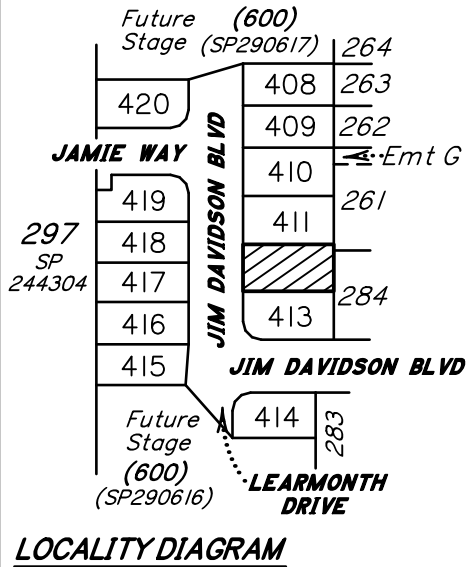
SHEET No. - 6 OF 9
REVISION. - V2

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV017_DP411 SHEET 2 OF 2

DRAFT



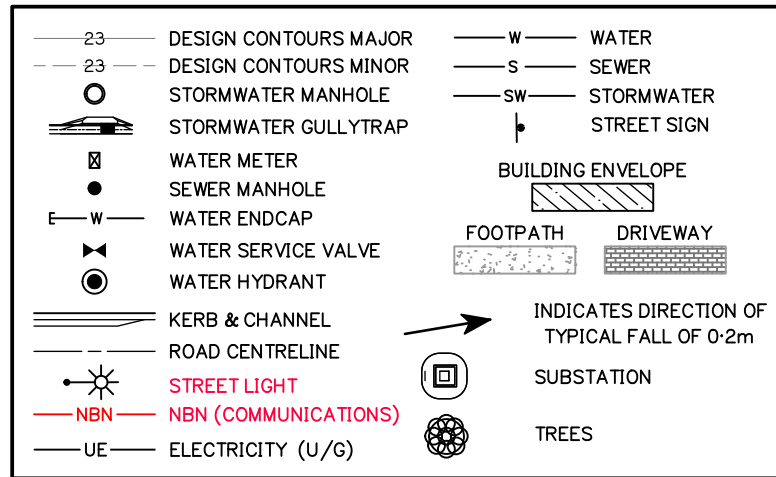
See also
SHEET 2
of this drawing
which refers to
Bldg Envelope

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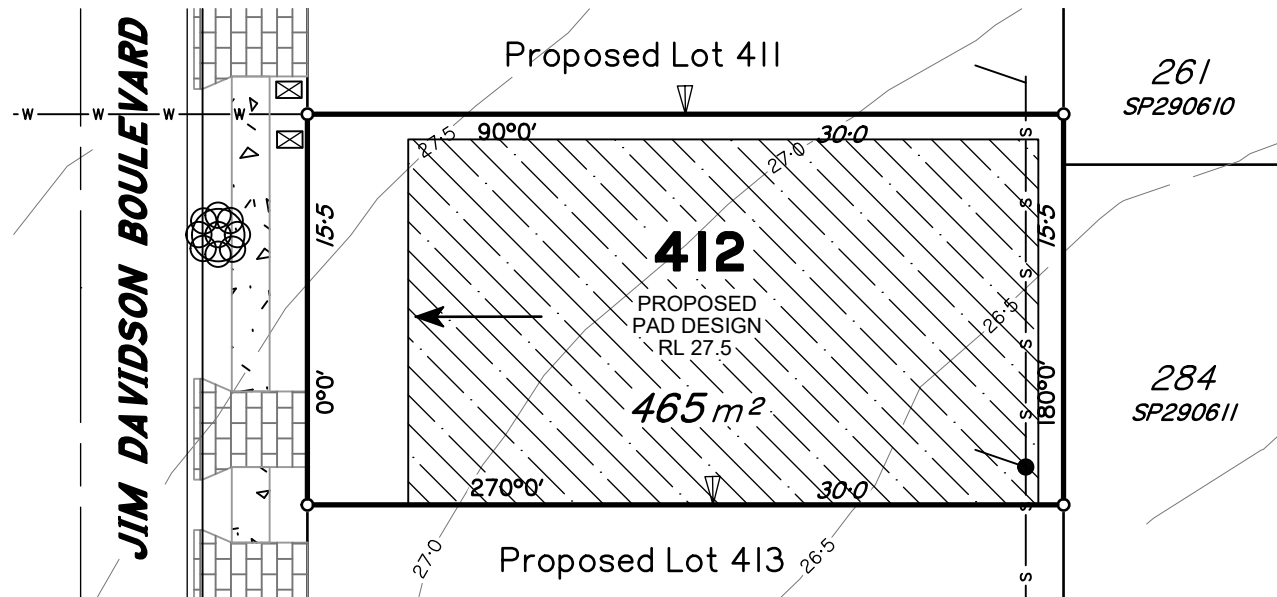
Sheet 6
Bldg Setbacks



LEGEND



Add 9°24'40" for
MGA Zone 56



DISCLOSURE PLAN

For Lot 412 (on SP290615)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 4 on SP290608
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

Date:

DATE	25/08/25	SURVEYED	—
SCALE	1 : 300 (A4)	DRAWN	BD25175
LEVEL DATUM	A.H.D	CHECKED	NHV
CONTOUR INTERVAL		0.5m	



Sheet
1

of
2

DRAWING NO: BLV017_DP 412

Sheet
1
of
2

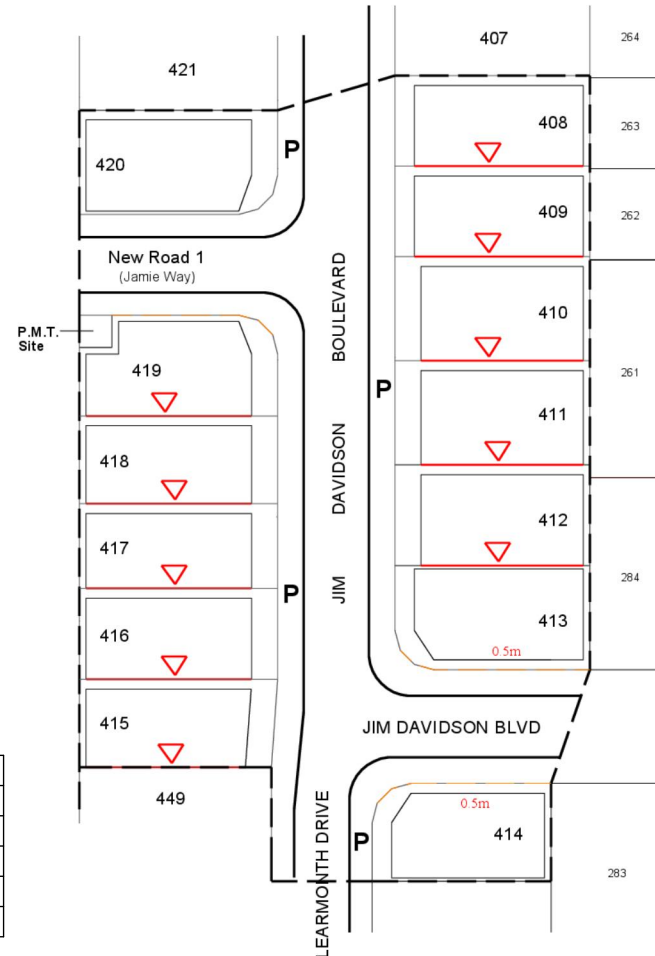
BD25175

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4A



SCALE: 1:750 @ A3



STAGE 4A STATISTICS		
LOT SIZE	NO.	%
G.T. 500m ²	0	0
400-500m ²	12	90
300-400m ²	1	10
L.T. 300m ²	0	0
TOTAL	13	100

SETBACKS (unless notified otherwise)					
STREET SETBACK	LOT WIDTH				
	< 14m	14m - 20m		> 20m	
	GROUND & UPPER	GROUND	UPPER	GROUND	UPPER
PRIMARY STREET	3m	4m	4m	4.5m	4.5m
SECONDARY STREET	2m	2m	2m	2m	2m
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
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EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 408-420

PROJECT: DAB - STAGES 4A

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

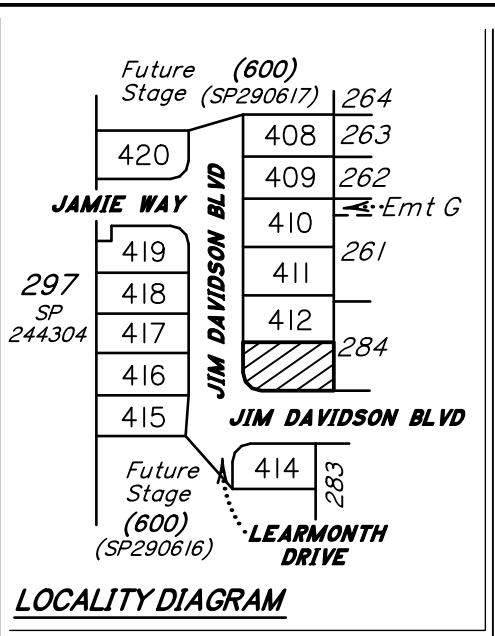
Job No. - DB-4-ABC

SHEET No. - 6 OF 9
REVISION. - V2

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV017_DP412 SHEET 2 OF 2

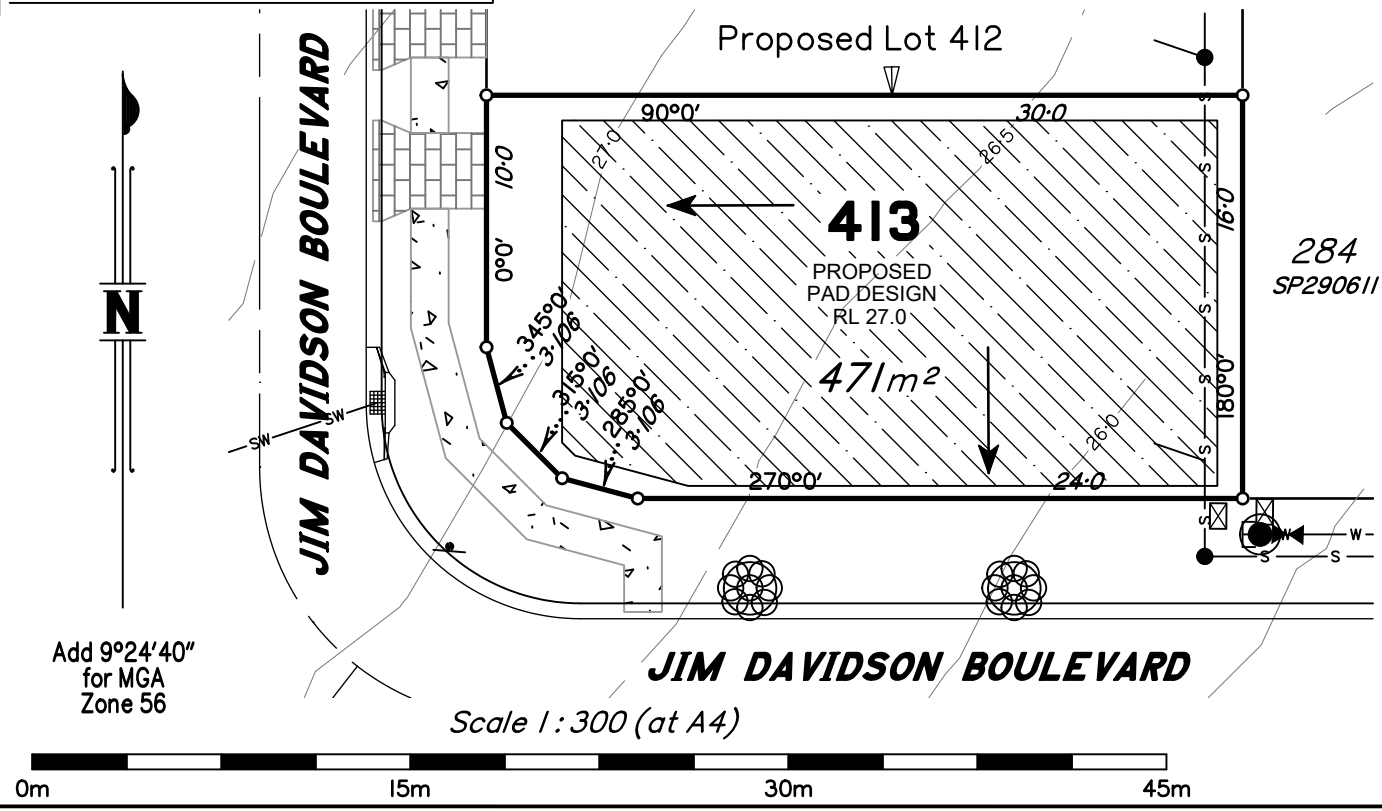
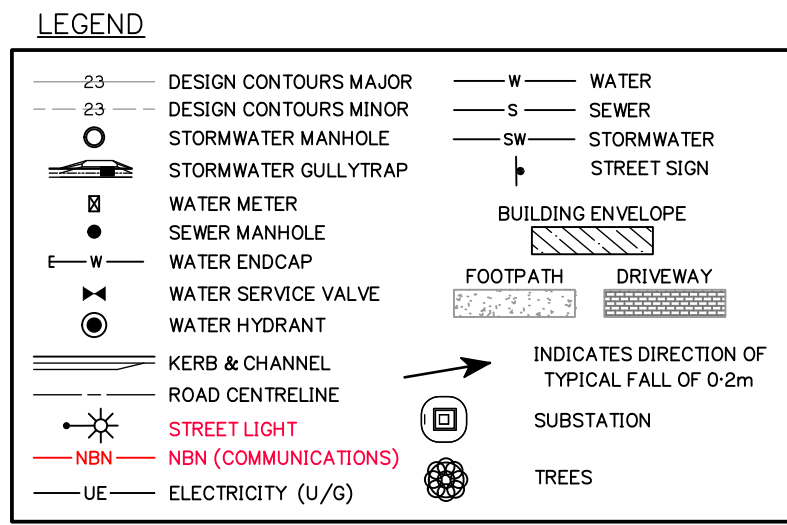


DRAFT

See also
SHEET 2
of this drawing
which refers to
Bldg Envelope

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Sheet 6
Bldg Setbacks



DISCLOSURE PLAN
For Lot 413 (on SP290615)
Jim Davidson Boulevard
BELIVAH, QLD

Sheet
1
of
2

BD25175

Described as Part of Lot 4 on SP290608
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

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AUTHORISATION:

Neville Henry VOLKER Cadastral Surveyor	Date:
--	-------

DATE 25/08/25	SURVEYED —
SCALE 1 : 300 (A4)	DRAWN BD25175
LEVEL DATUM A.H.D	CHECKED NHV
CONTOUR INTERVAL 0.5m	



Sheet
1
of
2

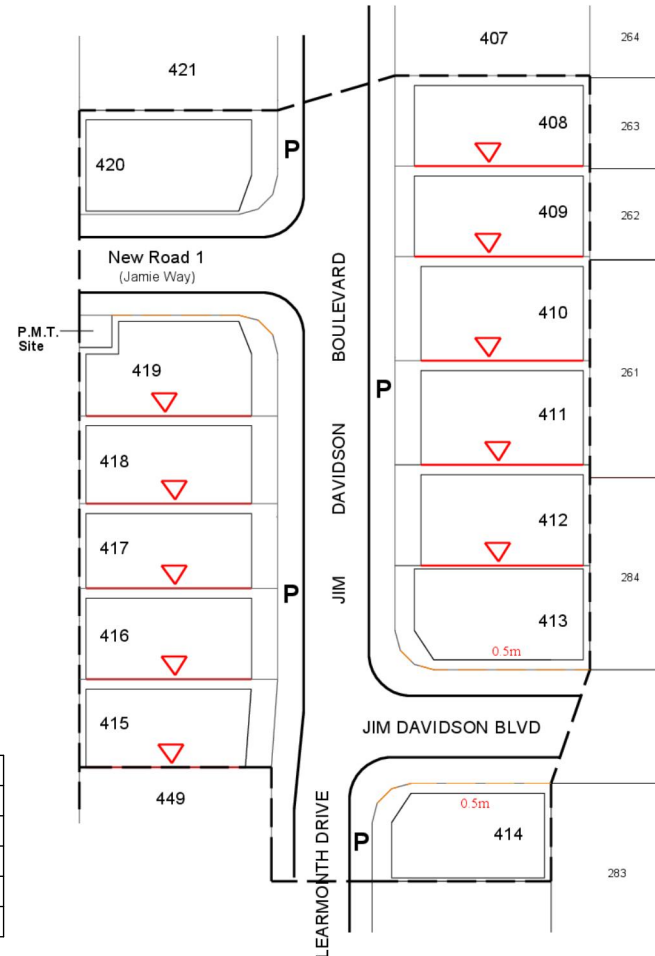
DRAWING N0: BLV017_DP 413

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4A



SCALE: 1:750 @ A3



STAGE 4A STATISTICS		
LOT SIZE	NO.	%
G.T. 500m ²	0	0
400-500m ²	12	90
300-400m ²	1	10
L.T. 300m ²	0	0
TOTAL	13	100

SETBACKS (unless notified otherwise)					
STREET SETBACK	LOT WIDTH				
	< 14m	14m - 20m		> 20m	
	GROUND & UPPER	GROUND	UPPER	GROUND	UPPER
PRIMARY STREET	3m	4m	4m	4.5m	4.5m
SECONDARY STREET	2m	2m	2m	2m	2m
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
N H VOLKER & Co. PTY. LTD.
P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 408-420

PROJECT: DAB - STAGES 4A

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 6 OF 9
REVISION. - V2

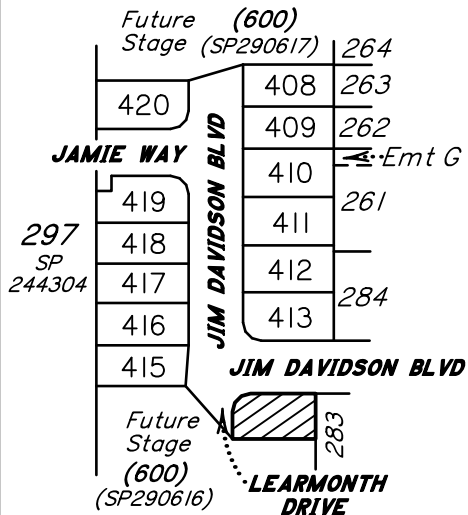
DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV017_DP413 SHEET 2 OF 2

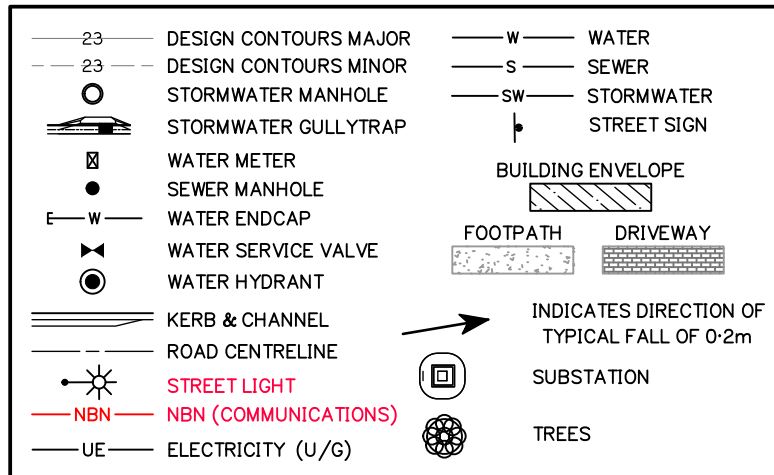
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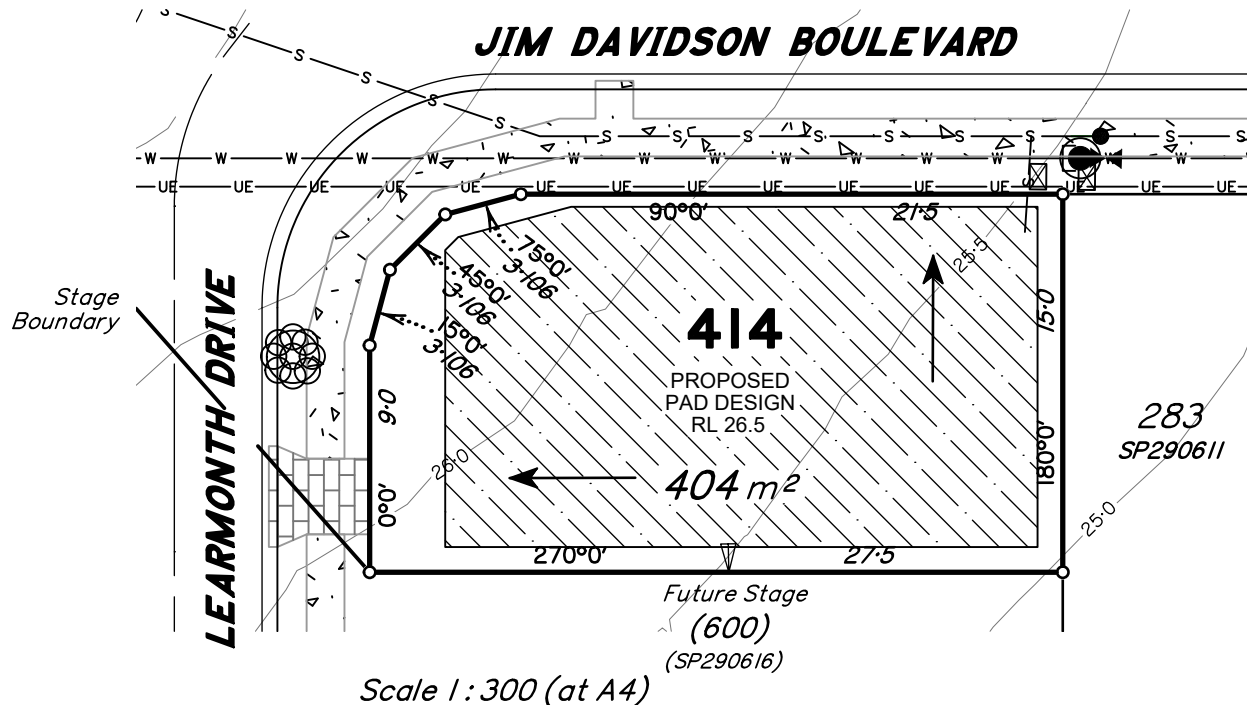


See also
SHEET 2
of this drawing
which refers to
Bldg Envelope

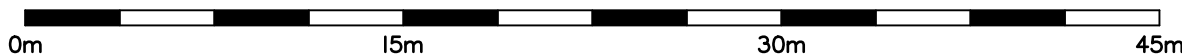
Sheet 6
Bldg Setbacks



Add 9°24'40" for
MGA Zone 56



Scale 1:300 (at A4)



DISCLOSURE PLAN

**For Lot 414 (on SP290615)
Jim Davidson Boulevard,
Learmonth Drive
BELIVAH, QLD**

Described as Part of Lot 4 on SP290608
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan.
This plan has been prepared for Davidsons At
Belivah for the purposes of a **Disclosure Plan**
under the *Land Sales Act 1984*

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

Date:

DATE	25/08/25	SURVEYED	—
SCALE	1 : 300 (A4)	DRAWN	BD25175
LEVEL DATUM	A.H.D	CHECKED	NHV
CONTOUR INTERVAL	0.5m		



DRAWING NO: BLV017_DP 414

Sheet
1
of
2

BD25175

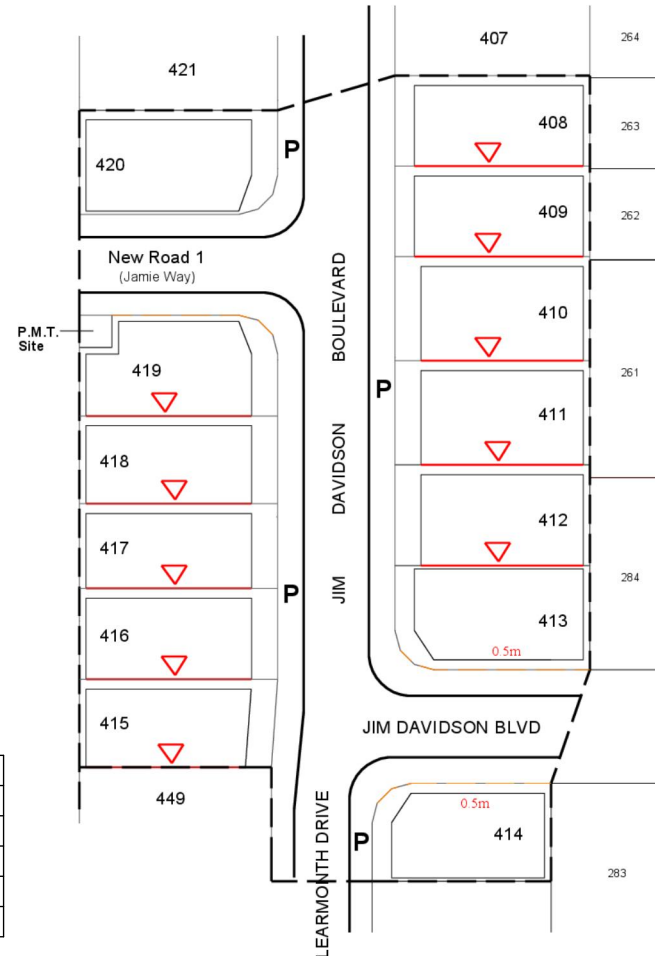
BD25175

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4A



SCALE: 1:750 @ A3



STAGE 4A STATISTICS		
LOT SIZE	NO.	%
G.T. 500m ²	0	0
400-500m ²	12	90
300-400m ²	1	10
L.T. 300m ²	0	0
TOTAL	13	100

SETBACKS (unless notified otherwise)					
STREET SETBACK	LOT WIDTH				
	< 14m	14m - 20m		> 20m	
	GROUND & UPPER	GROUND	UPPER	GROUND	UPPER
PRIMARY STREET	3m	4m	4m	4.5m	4.5m
SECONDARY STREET	2m	2m	2m	2m	2m
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



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P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 408-420

PROJECT: DAB - STAGES 4A

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

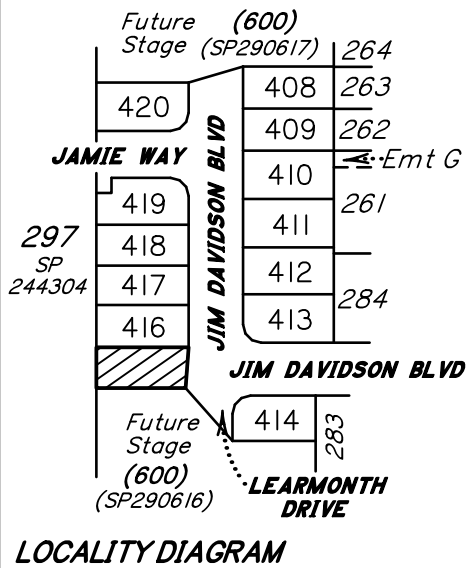
SHEET No. - 6 OF 9
REVISION. - V2

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV017_DP414 SHEET 2 OF 2

DRAFT

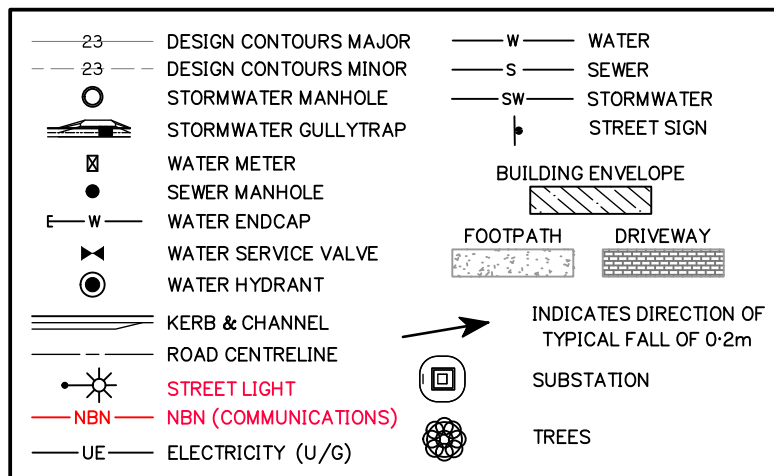


See also
SHEET 2
of this drawing
which refers to
Bldg Envelope

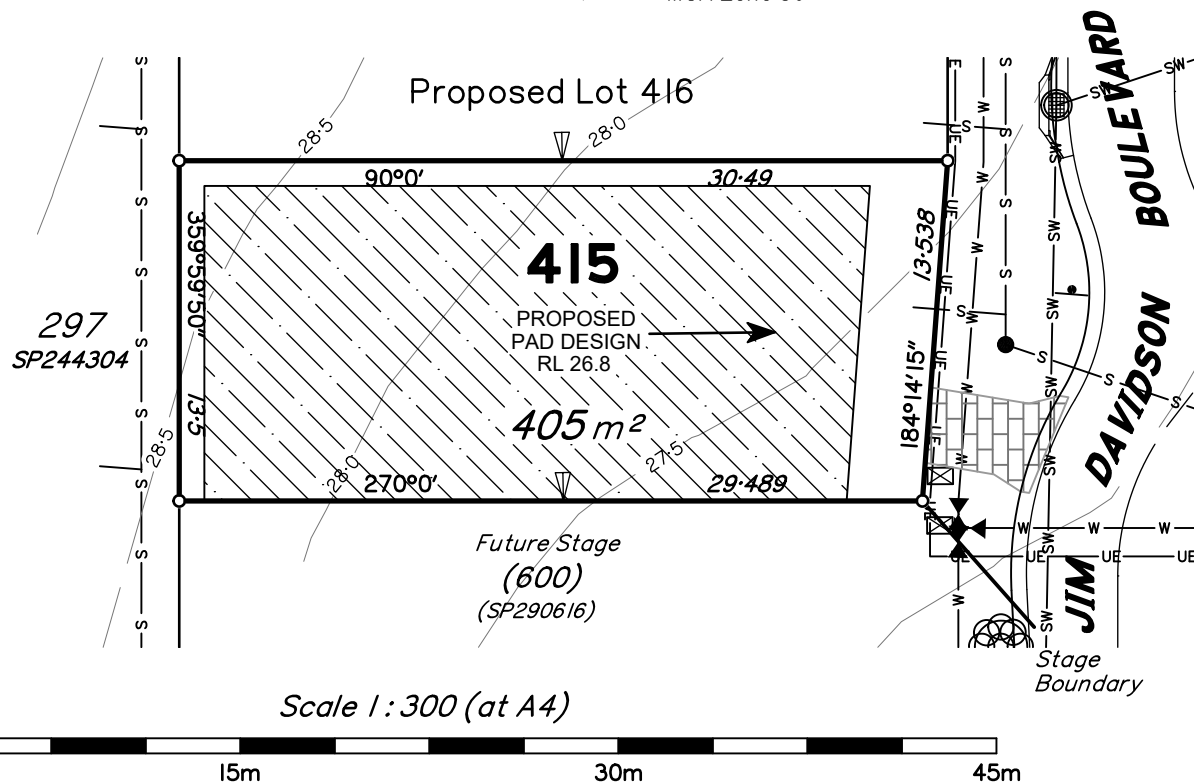
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Sheet 6
Bldg Setbacks



LEGEND



Add 9°24'40" for
MGA Zone 56



DISCLOSURE PLAN

For Lot 415 (on SP290615)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 4 on SP290608
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

Date:

DATE	25/08/25	SURVEYED	—
SCALE	1 : 300 (A4)	DRAWN	BD25175
LEVEL DATUM	A.H.D	CHECKED	NHV
CONTOUR INTERVAL		0.5m	



Davidson's
At
BELIVAH

Sheet
1 of
2

DRAWING NO: BLV017_DP 415

Sheet
1 of
2

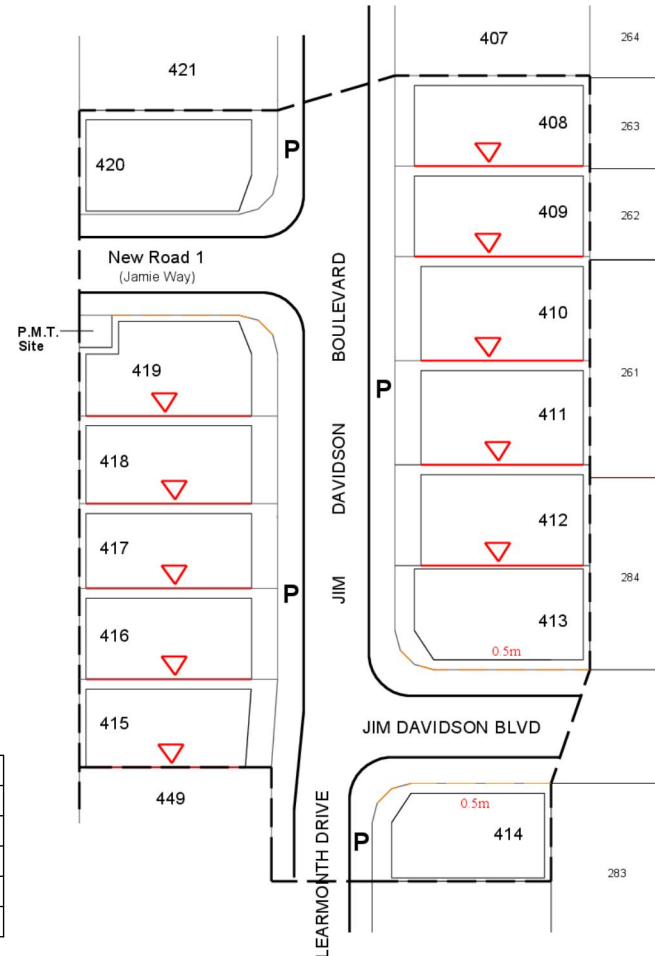
BD25175

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4A



SCALE: 1:750 @ A3



STAGE 4A STATISTICS		
LOT SIZE	NO.	%
G.T. 500m ²	0	0
400-500m ²	12	90
300-400m ²	1	10
L.T. 300m ²	0	0
TOTAL	13	100

SETBACKS (unless notified otherwise)					
STREET SETBACK	LOT WIDTH				
	< 14m	14m - 20m		> 20m	
	GROUND & UPPER	GROUND	UPPER	GROUND	UPPER
PRIMARY STREET	3m	4m	4m	4.5m	4.5m
SECONDARY STREET	2m	2m	2m	2m	2m
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
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P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 408-420

PROJECT: DAB - STAGES 4A

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

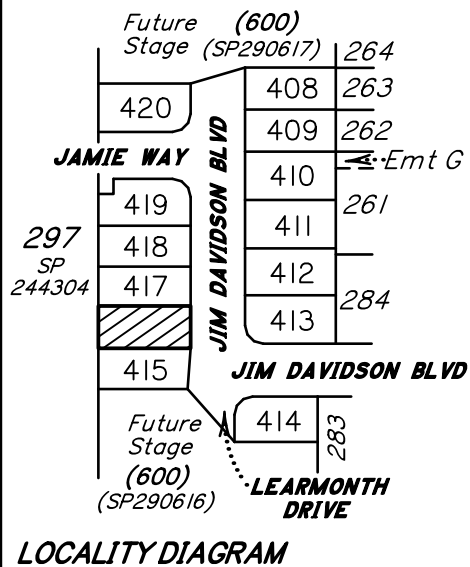
Job No. - DB-4-ABC

SHEET No. - 6 OF 9
REVISION. - V2

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV017_DP415 SHEET 2 OF 2



DRAFT

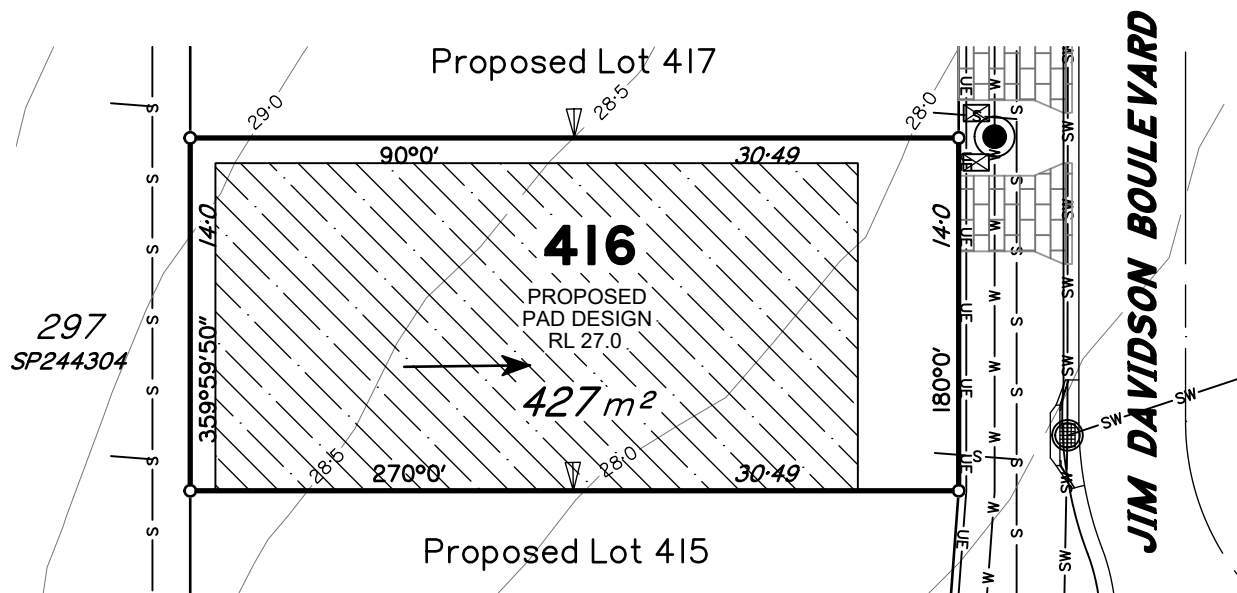
See also
SHEET 2
of this drawing
which refers to
Bldg Envelope

Sheet 6
Bldg Setbacks

LEGEND

- | | | | | |
|--|----|-----------------------|--|--|
| | 23 | DESIGN CONTOURS MAJOR | | WATER |
| | 23 | DESIGN CONTOURS MINOR | | SEWER |
| | | STORMWATER MANHOLE | | STORMWATER |
| | | STORMWATER GULLYTRAP | | STREET SIGN |
| | | WATER METER | | |
| | | SEWER MANHOLE | | |
| | | WATER ENDCAP | | |
| | | WATER SERVICE VALVE | | |
| | | WATER HYDRANT | | |
| | | KERB & CHANNEL | | |
| | | ROAD CENTRELINE | | |
| | | STREET LIGHT | | |
| | | NBN (COMMUNICATIONS) | | |
| | | ELECTRICITY (U/G) | | |
| | | | | BUILDING ENVELOPE |
| | | | | FOOTPATH |
| | | | | DRIVEWAY |
| | | | | INDICATES DIRECTION OF
TYPICAL FALL OF 0.2m |
| | | | | SUBSTATION |
| | | | | TREES |

Add 9°24'40" for
MGA Zone 56



DISCLOSURE PLAN

**For Lot 416 (on SP290615)
Jim Davidson Boulevard
BELIVAH, QLD**

Described as Part of Lot 4 on SP290608
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

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Cadastral Surveyor

Date: _____

DATE	25/08/25	SURVEYED	—
SCALE	1: 300 (A4)	DRAWN	BD25175
LEVEL DATUM	A.H.D	CHECKED	NHV
CONTOUR INTERVAL	0.5m		



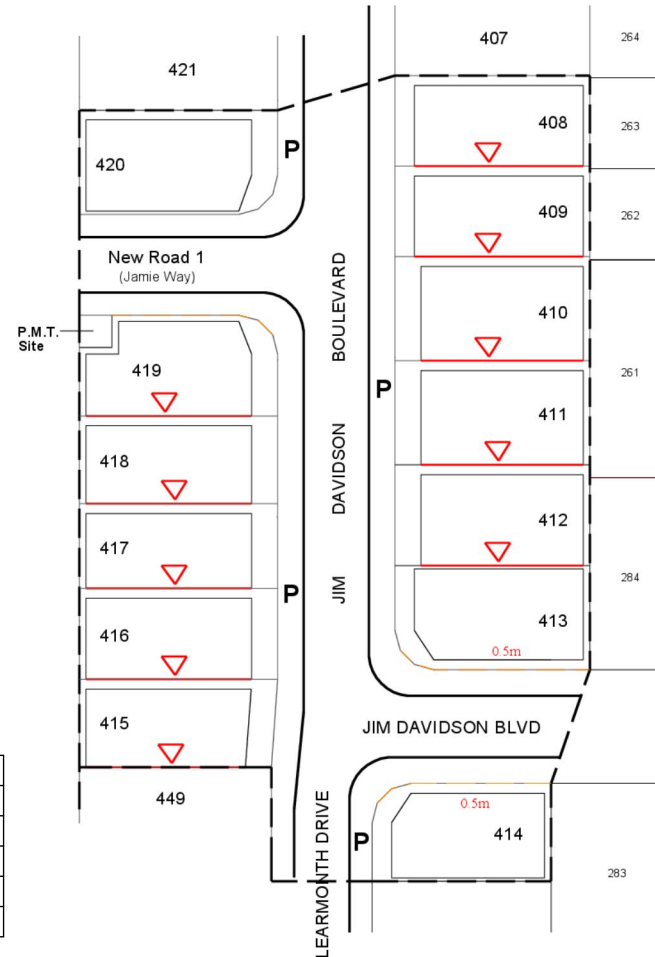
DRAWING NO: BLV017_DP 416

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4A



SCALE: 1:750 @ A3



STAGE 4A STATISTICS		
LOT SIZE	NO.	%
G.T. 500m ²	0	0
400-500m ²	12	90
300-400m ²	1	10
L.T. 300m ²	0	0
TOTAL	13	100

SETBACKS (unless notified otherwise)					
STREET SETBACK	LOT WIDTH				
	< 14m	14m - 20m		> 20m	
	GROUND & UPPER	GROUND	UPPER	GROUND	UPPER
PRIMARY STREET	3m	4m	4m	4.5m	4.5m
SECONDARY STREET	2m	2m	2m	2m	2m
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m

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 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



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BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 408-420

PROJECT: DAB - STAGES 4A

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

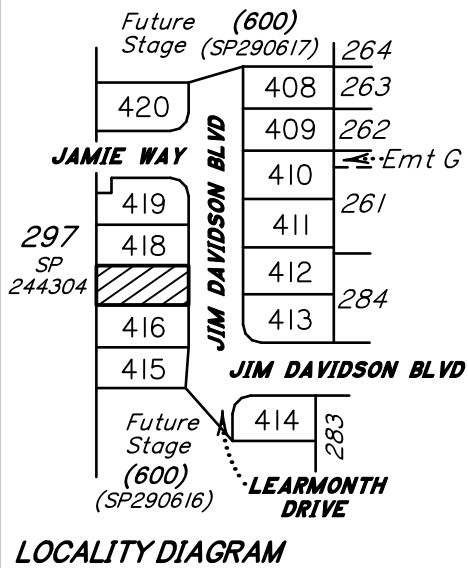
SHEET No. - 6 OF 9
REVISION. - V2

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV017_DP416 SHEET 2 OF 2

DRAFT



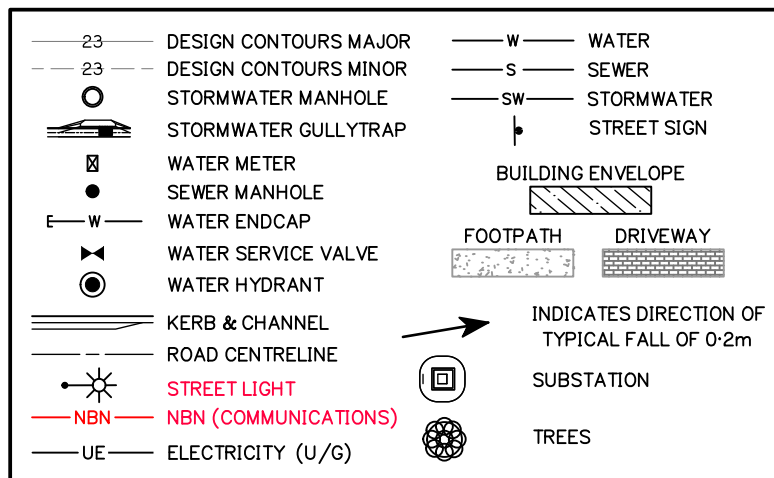
See also
SHEET 2
of this drawing
which refers to
Bldg Envelope

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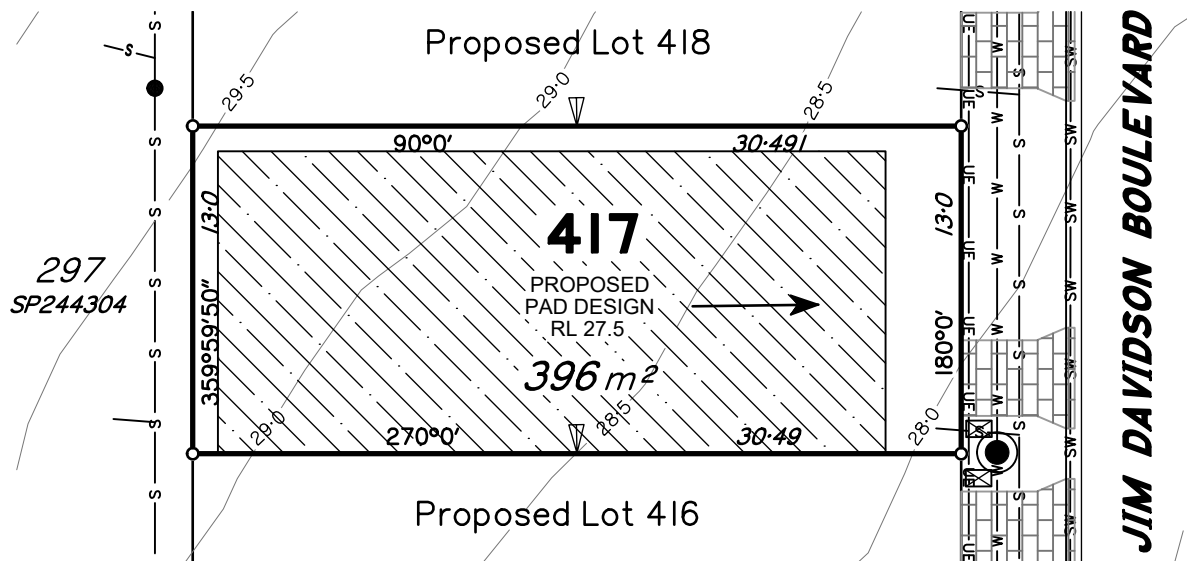
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Bldg Setbacks



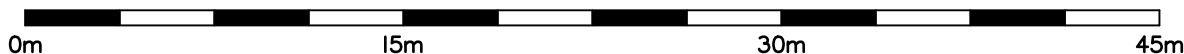
LEGEND



Add 9°24'40" for
MGA Zone 56



Scale 1 : 300 (at A4)



DISCLOSURE PLAN

For Lot 417 (on SP290615)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 4 on SP290608
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

Date:

DATE	25/08/25	SURVEYED	—
SCALE	1 : 300 (A4)	DRAWN	BD25175
LEVEL DATUM	A.H.D	CHECKED	NHV
CONTOUR INTERVAL		0.5m	



Sheet
1

of
2

DRAWING NO: BLV017_DP 417

Sheet
1
of
2

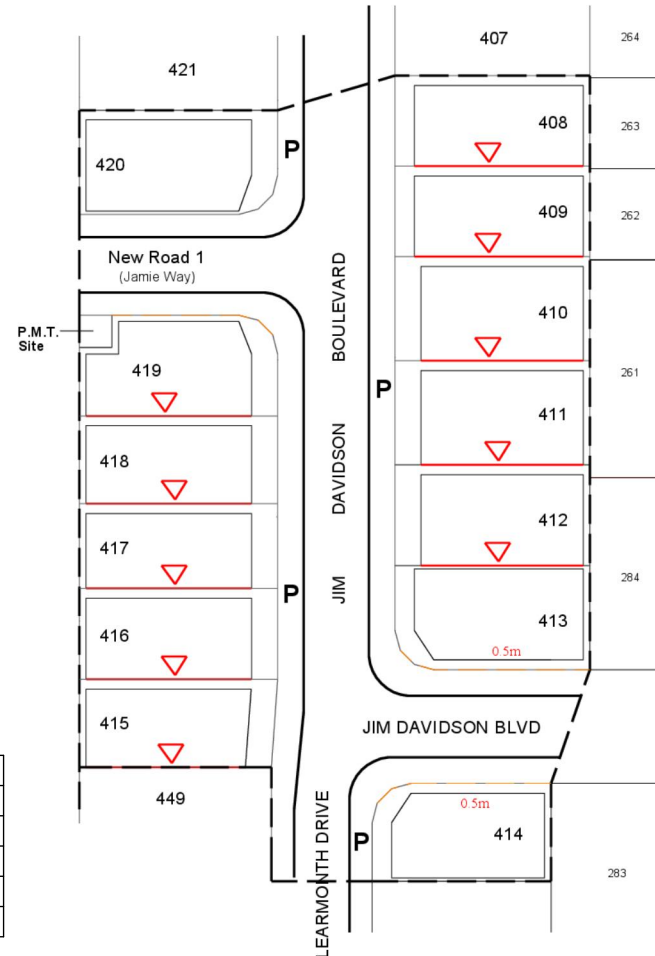
BD25175

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4A



SCALE: 1:750 @ A3



STAGE 4A STATISTICS		
LOT SIZE	NO.	%
G.T. 500m ²	0	0
400-500m ²	12	90
300-400m ²	1	10
L.T. 300m ²	0	0
TOTAL	13	100

SETBACKS (unless notified otherwise)					
STREET SETBACK	LOT WIDTH				
	< 14m	14m - 20m		> 20m	
	GROUND & UPPER	GROUND	UPPER	GROUND	UPPER
PRIMARY STREET	3m	4m	4m	4.5m	4.5m
SECONDARY STREET	2m	2m	2m	2m	2m
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
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 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- - - STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



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BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 408-420

PROJECT: DAB - STAGES 4A

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

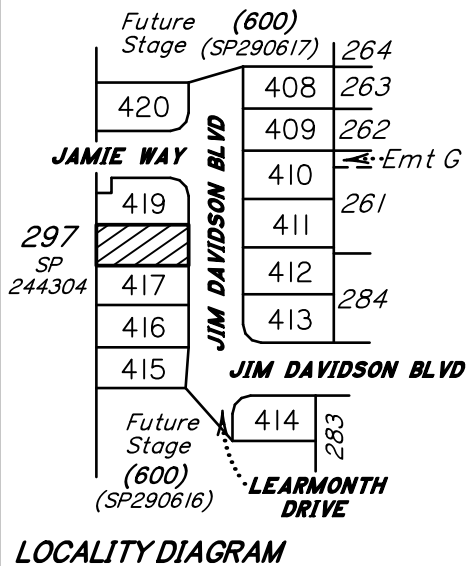
Job No. - DB-4-ABC

SHEET No. - 6 OF 9
REVISION. - V2

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

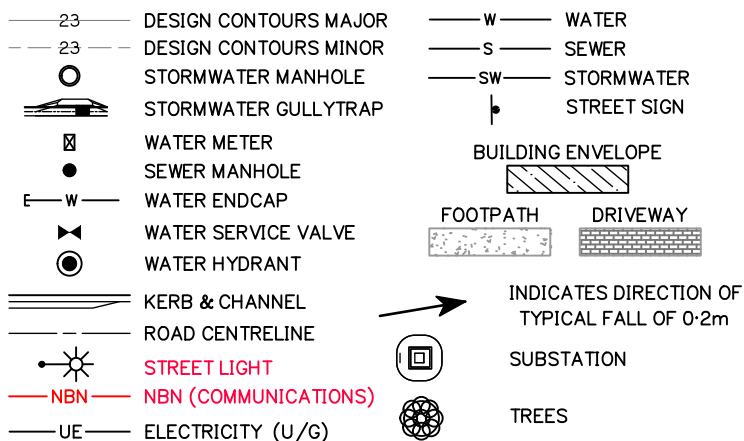
Driveway to be constructed to LCC specifications

DRAWING NO: BLV017_DP417 SHEET 2 OF 2



DRAFT

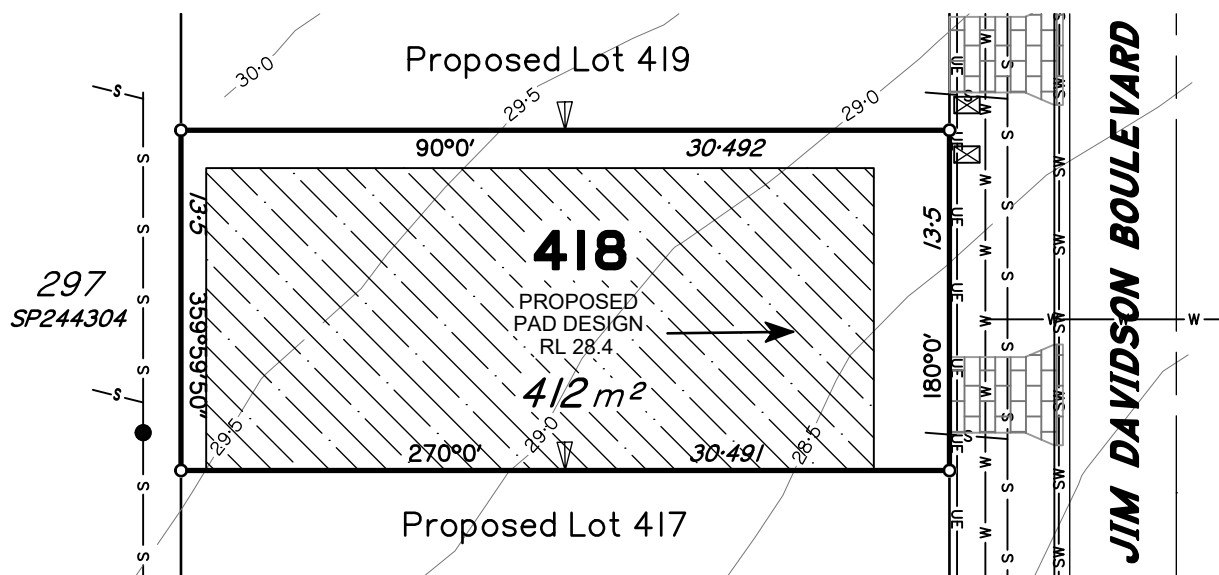
LEGEND



See also
SHEET 2
of this drawing
which refers to
Bldg Envelope
.....
Sheet 6
Bldg Setbacks



Add 9°24'40" for
MGA Zone 56



DISCLOSURE PLAN

For Lot 418 (on SP290615)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 4 on SP290608
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

Date:

DATE	25/08/25	SURVEYED	—
SCALE	1:300 (A4)	DRAWN	BD25175
LEVEL DATUM	A.H.D	CHECKED	NHV

CONTOUR INTERVAL 0.5m



Davidson's
At
BELIVAH

Sheet
1 of
2

DRAWING NO: BLV017_DP 418

Sheet
1 of
2

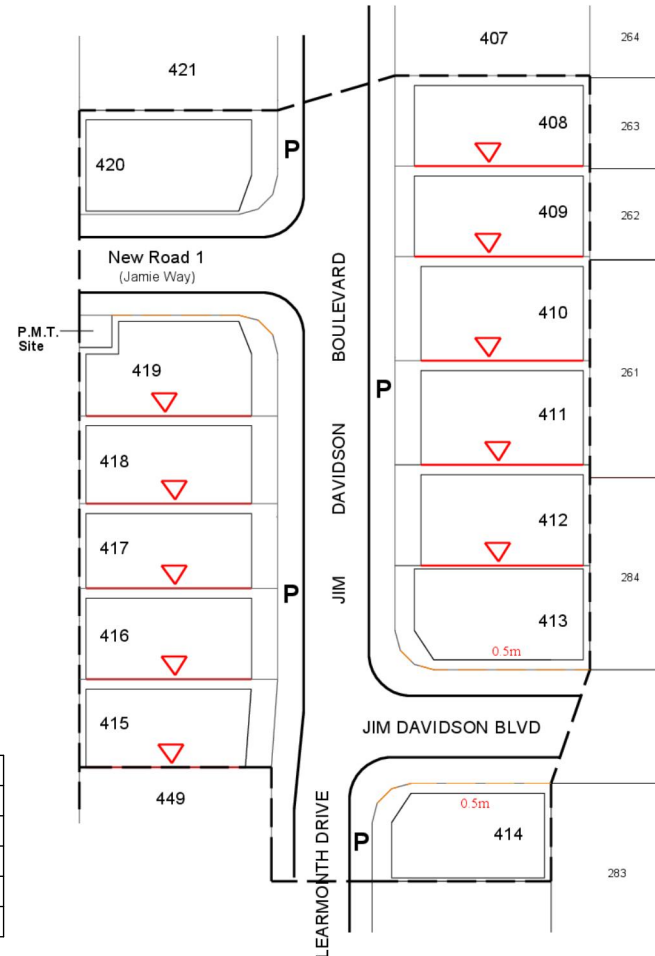
BD25175

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4A



SCALE: 1:750 @ A3



STAGE 4A STATISTICS		
LOT SIZE	NO.	%
G.T. 500m ²	0	0
400-500m ²	12	90
300-400m ²	1	10
L.T. 300m ²	0	0
TOTAL	13	100

SETBACKS (unless notified otherwise)					
STREET SETBACK	LOT WIDTH				
	< 14m	14m - 20m		> 20m	
	GROUND & UPPER	GROUND	UPPER	GROUND	UPPER
PRIMARY STREET	3m	4m	4m	4.5m	4.5m
SECONDARY STREET	2m	2m	2m	2m	2m
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- ▽ BUILD TO BOUNDARY
- STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



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N H VOLKER & Co. PTY. LTD.
P O Box 411
BEENLEIGH QLD 4207
EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 408-420

PROJECT: DAB - STAGES 4A

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

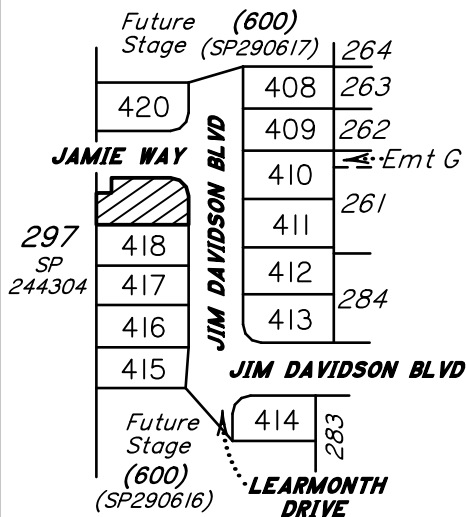
SHEET No. - 6 OF 9
REVISION. - V2

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV017_DP418 SHEET 2 OF 2

DRAFT

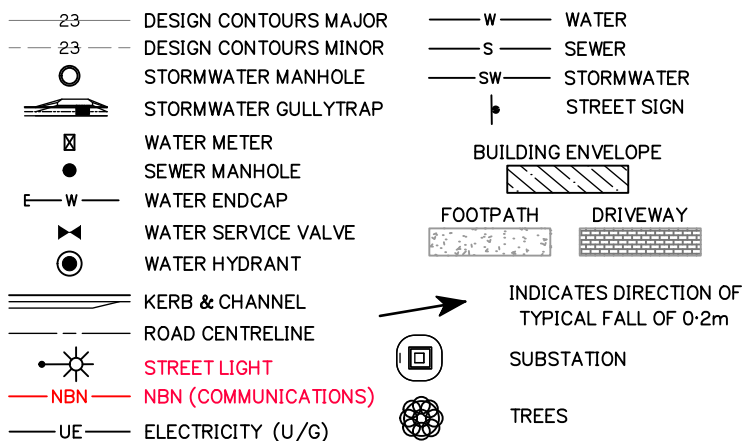


LOCALITY DIAGRAM

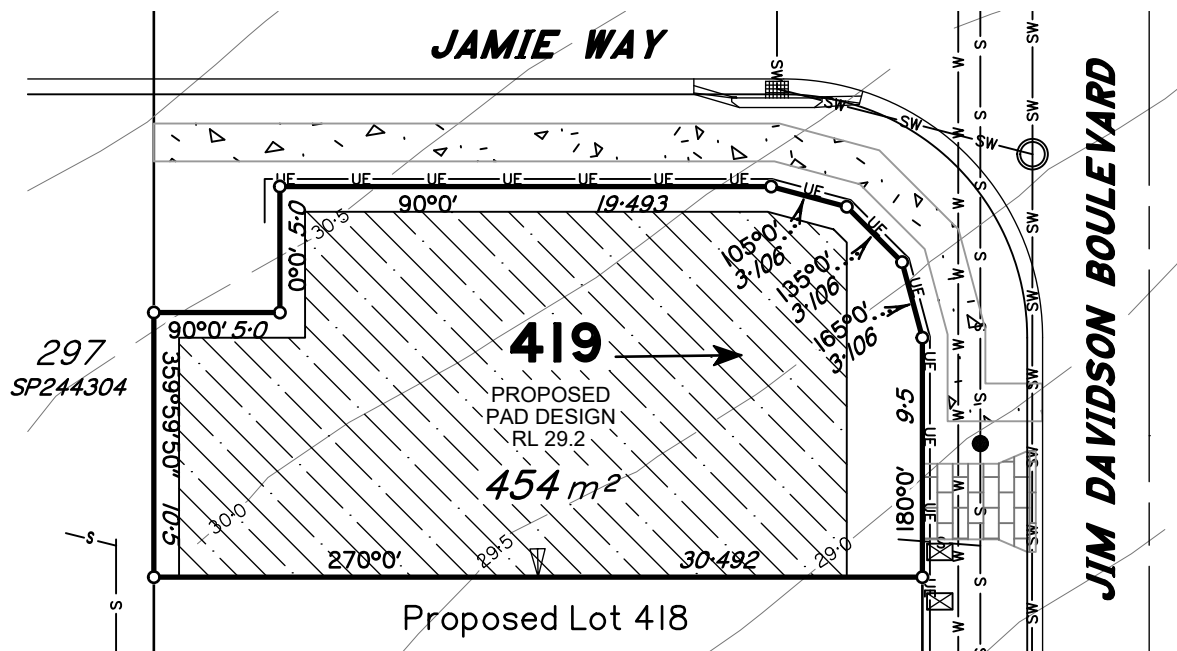
See also
SHEET 2
of this drawing
which refers to
Bldg Envelope

Sheet 6
Bldg Setbacks

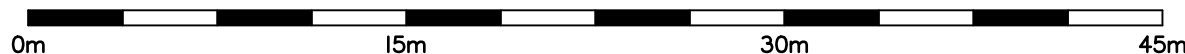
LEGEND



Add 9°24'40" for
MGA Zone 56



Scale 1:300 (at A4)



DISCLOSURE PLAN

For Lot 419 (on SP290615)

Jim Davidson Boulevard,

Jamie Way

BELIVAH, QLD

Described as Part of Lot 4 on SP290608

Local Authority: LOGAN C.C.

Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan.

This plan has been prepared for Davidsons At Belivah for the purposes of a Disclosure Plan under the Land Sales Act 1984

It is not to be used for any other purpose and is subject to the following limitations.

The lot dimensions and areas shown hereon are subject to final survey and also subject to Council and other authorities. Notwithstanding the limits of filling shown, the actual limits shall be determined on site by the engineer during construction. Compaction of any fill material placed on this site shall be completed under inspection and testing services in accordance with AS3798-2007. Location of sewer, stormwater, water, electric and communications are shown from engineering drawings and may differ from the as constructed location. These drawings are copyright and are not to be used or reproduced without the written permission of NH Volker and Co Pty Ltd.

AUTHORISATION:

Neville Henry VOLKER
Cadastral Surveyor

Date:

DATE	25/08/25	SURVEYED	—
SCALE	1:300 (A4)	DRAWN	BD25175
LEVEL DATUM	A.H.D	CHECKED	NHV

CONTOUR INTERVAL 0.5m



Davidson's
At
BELIVAH

Sheet
1 of
2

DRAWING NO: BLV017_DP 419

Sheet
1 of
2

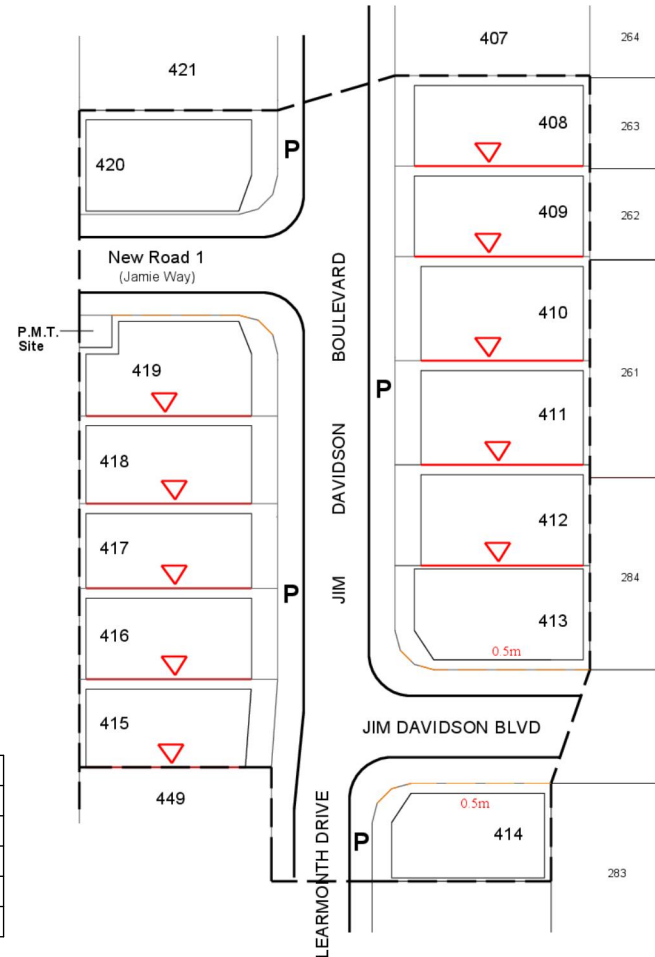
BD25175

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4A



SCALE: 1:750 @ A3



STAGE 4A STATISTICS		
LOT SIZE	NO.	%
G.T. 500m ²	0	0
400-500m ²	12	90
300-400m ²	1	10
L.T. 300m ²	0	0
TOTAL	13	100

SETBACKS (unless notified otherwise)					
STREET SETBACK	LOT WIDTH				
	< 14m	14m - 20m		> 20m	
	GROUND & UPPER	GROUND	UPPER	GROUND	UPPER
PRIMARY STREET	3m	4m	4m	4.5m	4.5m
SECONDARY STREET	2m	2m	2m	2m	2m
SIDE & REAR SETBACK	1m	1m	1.5m	1.5m	2m

NOTES:
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 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
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- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-4-ABC SHEET 9 of 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



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EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS 408-420

PROJECT: DAB - STAGES 4A

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

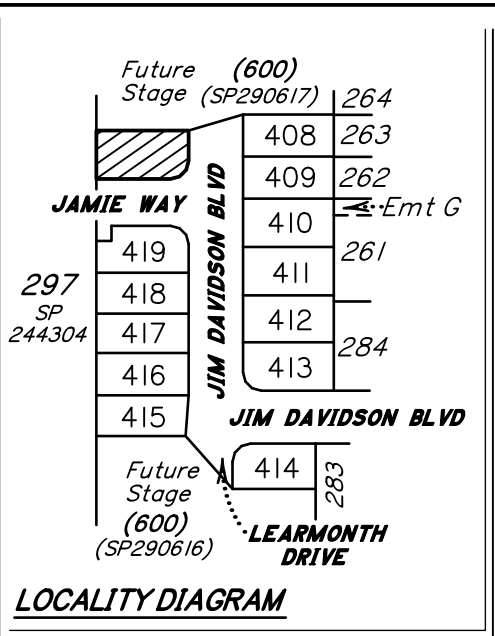
Job No. - DB-4-ABC

SHEET No. - 6 OF 9
REVISION. - V2

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV017_DP419 SHEET 2 OF 2



DRAFT

See also
SHEET 2
of this drawing
which refers to
Bldg Envelope

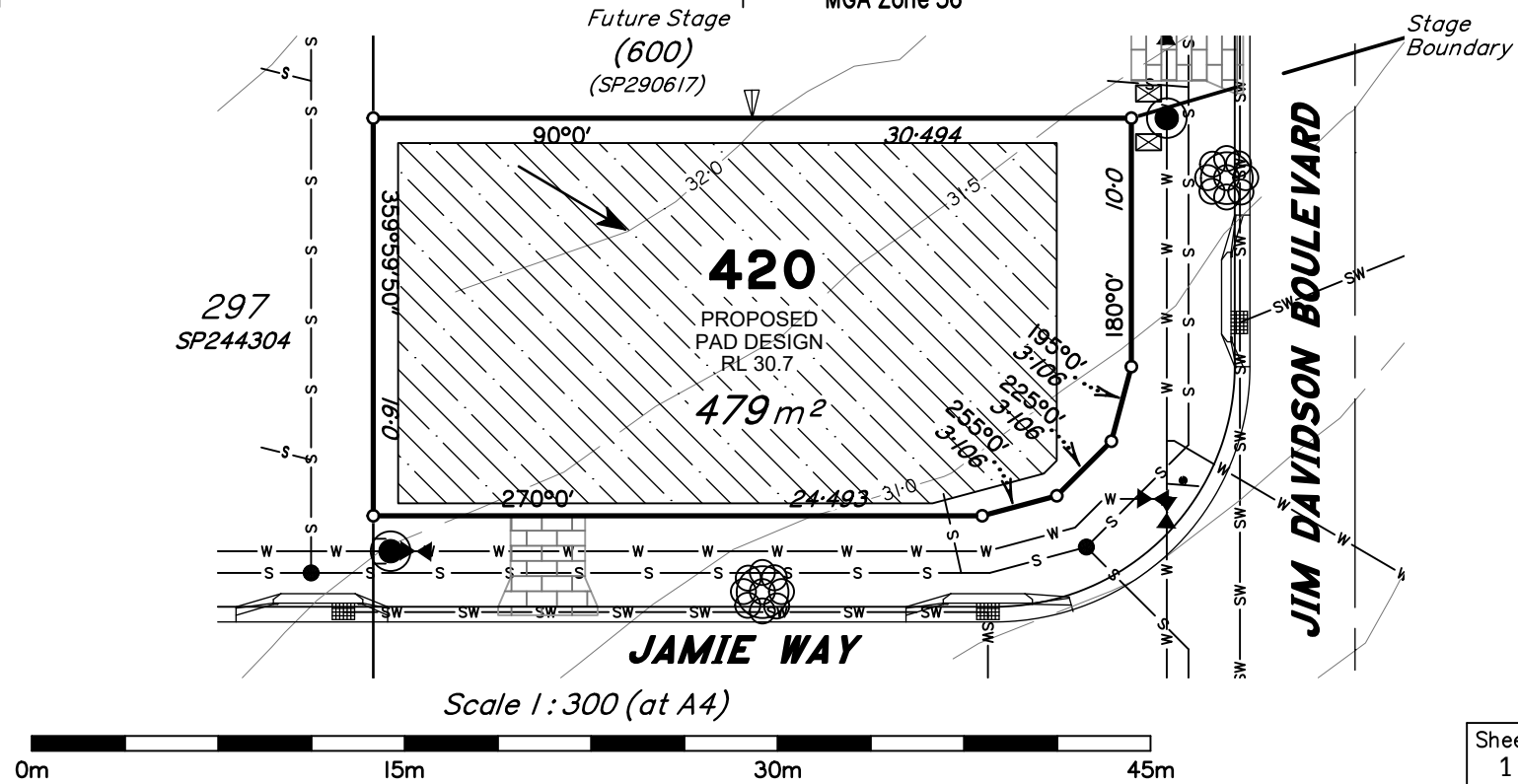
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Sheet 6
Bldg Setbacks



LEGEND

23	DESIGN CONTOURS MAJOR	W	WATER
23	DESIGN CONTOURS MINOR	S	SEWER
	STORMWATER MANHOLE	SW	STORMWATER
	STORMWATER GULLYTRAP		STREET SIGN
	WATER METER		BUILDING ENVELOPE
	SEWER MANHOLE		FOOTPATH
	WATER ENDCAP		DRIVEWAY
	WATER SERVICE VALVE		INDICATES DIRECTION OF TYPICAL FALL OF 0.2m
	WATER HYDRANT		SUBSTATION
	KERB & CHANNEL		TREES
	ROAD CENTRELINE		
	STREET LIGHT		
	NBN (COMMUNICATIONS)		
	ELECTRICITY (U/G)		

Add 9°24'40" for
MGA Zone 56



DISCLOSURE PLAN
For Lot 420 (on SP290615)
Jim Davidson Boulevard,
Jamie Way
BELIVAH, QLD

Described as Part of Lot 4 on SP290608
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

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AUTHORISATION:

Neville Henry VOLKER Cadastral Surveyor		Date:	
DATE	25/08/25	SURVEYED	-
SCALE	1:300 (A4)	DRAWN	BD25175
LEVEL DATUM	A.H.D	CHECKED	NHV
CONTOUR INTERVAL		0.5m	



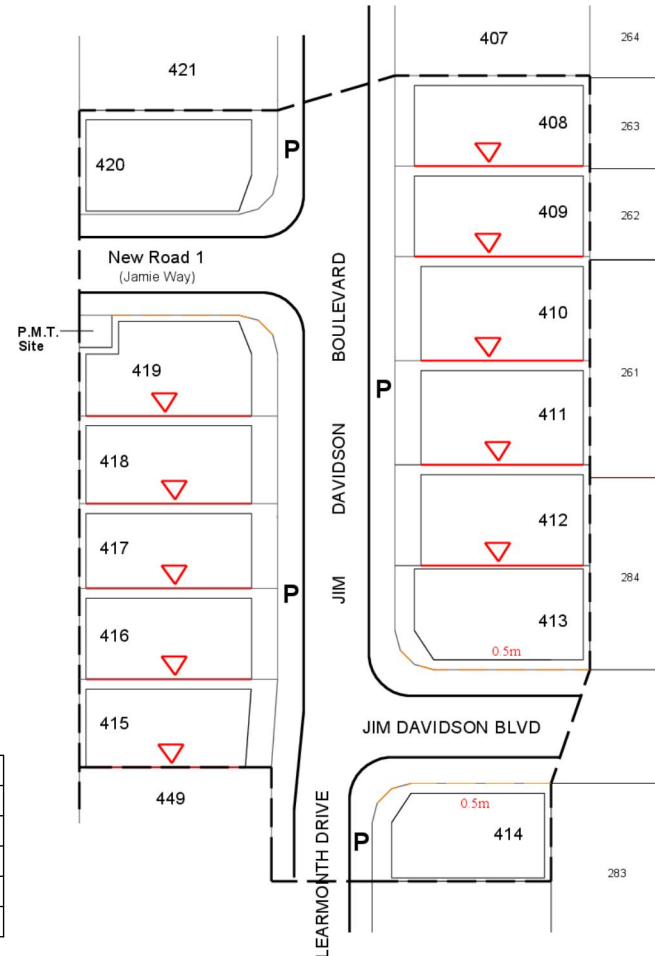
DRAWING NO: BLV017_DP 420

BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4A



SCALE: 1:750 @ A3



STAGE 4A STATISTICS		
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PROPOSED LOTS 408-420

PROJECT: DAB - STAGES 4A

LOCATION: JIM DAVIDSON BLVD,
BELIVAH

Job No. - DB-4-ABC

SHEET No. - 6 OF 9
REVISION. - V2

DATE: 26/11/2024
DRAWN: BD
EMAIL: nvolker@bigpond.net.au
PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV017_DP420 SHEET 2 OF 2