

DISCLOSURE PLAN

**For Lot 400 (on SP290617)
Jim Davidson Boulevard,
Belivah Road
BELIVAH, QLD**

Described as Part of Lot 600 on SP290615
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan. This plan has been prepared for Davidsons At Belivah for the purposes of a **Disclosure Plan under the Land Sales Act 1984**. It is not to be used for any other purpose and is subject to the following limitations. The lot dimensions and areas shown hereon are subject to final survey and also subject to Council and other authorities. Notwithstanding the limits of filling shown, the actual limits shall be determined on site by the engineer during construction. Compaction of any fill material placed on this site shall be completed under inspection and testing services in accordance with AS3798-2007. Location of sewer, stormwater, water, electric and communications are shown from engineering drawings and may differ from the as constructed location. These drawings are copyright and are not to be used or reproduced without the written permission of NH Volker and Co Pty Ltd.

AUTHORISATION:

Neville Henry VOLKER Date:
Cadastral Surveyor

| | | | |
|--------------------|------------|-----------------|---------|
| DATE | 03/06/26 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |

CONTOUR INTERVAL 0.5m



DRAWING NO: BLV019_DP 400

DRAFT

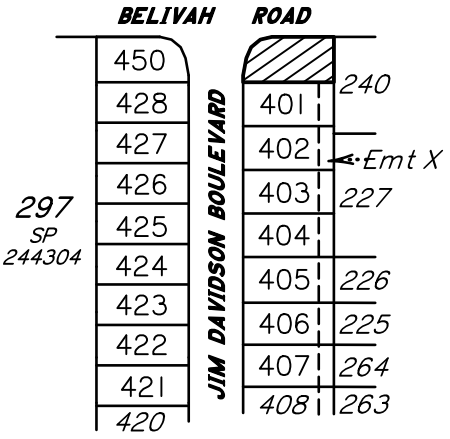
LEGEND

| | | | |
|---------|----------------------|--------|---|
| — 23 — | DESIGN CONTOURS | — W — | WATER |
| ○ | STORMWATER MANHOLE | — S — | SEWER |
| ▬ | STORMWATER GULLYTRAP | — SW — | STORMWATER |
| ⊠ | WATER METER | — G — | GAS |
| ● | SEWER MANHOLE | ⊠ | STREET SIGN |
| — W — | WATER ENDCAP | ⊠ | ELEC, NBN & GAS CONNECTIONS |
| ⊠ | WATER SERVICE VALVE | → | INDICATES DIRECTION OF TYPICAL FALL OF 0.2m |
| ⊙ | WATER HYDRANT | ▬ | FOOTPATH |
| ▬ | KERB & CHANNEL | ▬ | DRIVEWAY |
| ▬ | ROAD CENTRELINE | ▬ | BUILDING ENVELOPE |
| ⊙ | STREET LIGHT | ⊙ | TREES |
| — NBN — | NBN (COMMUNICATIONS) | | |
| — UE — | ELECTRICITY (U/G) | | |

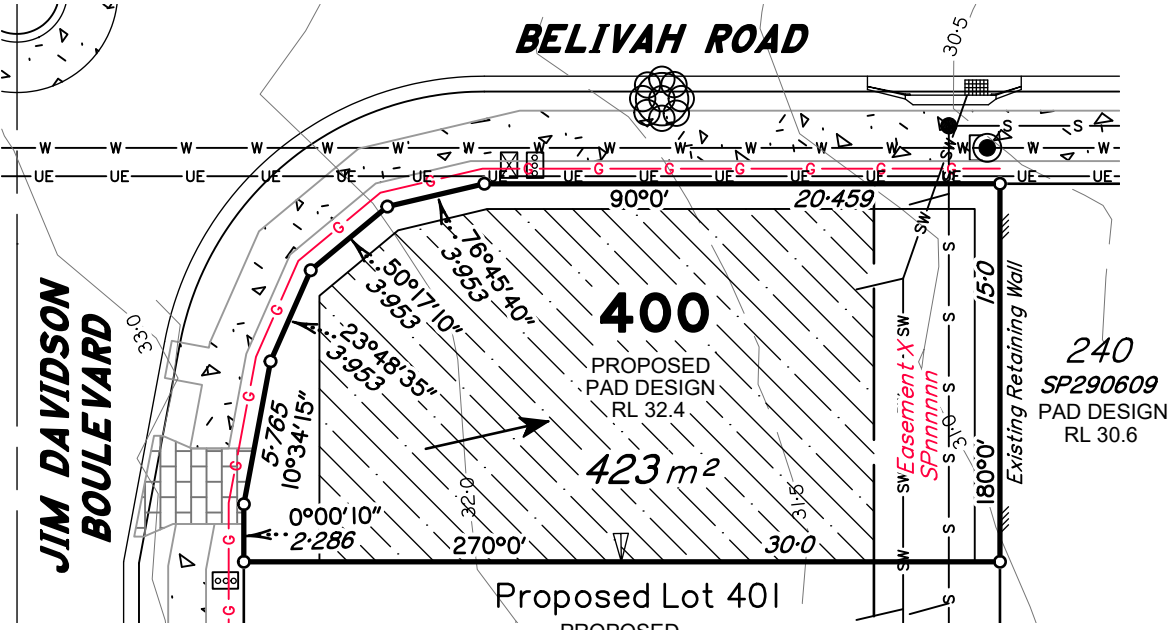


See also SHEET 2 of this drawing which refers to Bldg Envelope
.....
Sheet 8 Bldg Setbacks

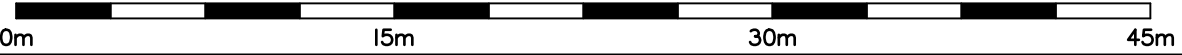
Add 9°24'40" for MGA Zone 56



LOCALITY DIAGRAM



Scale 1:300 (at A4)

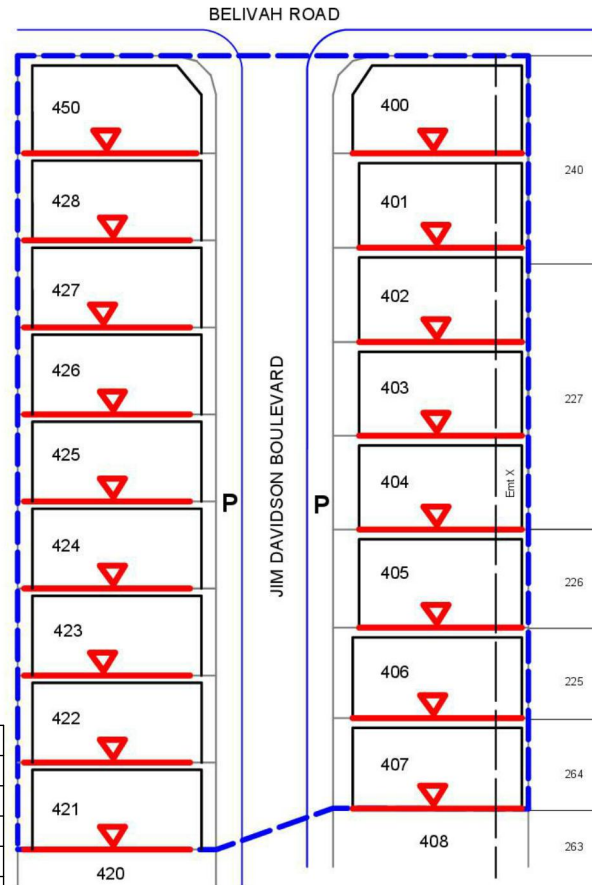


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----------|------------|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 17 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 17 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
 N H VOLKER & Co. PTY. LTD.
 P O Box 411
 BEENLEIGH QLD 4207
 EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
 REVISION. - V1

DATE: 26/11/2024
 DRAWN: BD

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

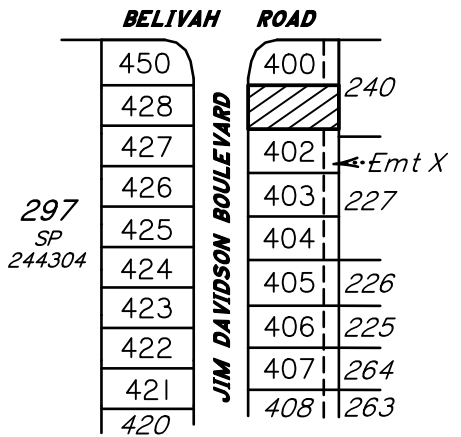
Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP400 SHEET 2 OF 2

DRAFT

LEGEND

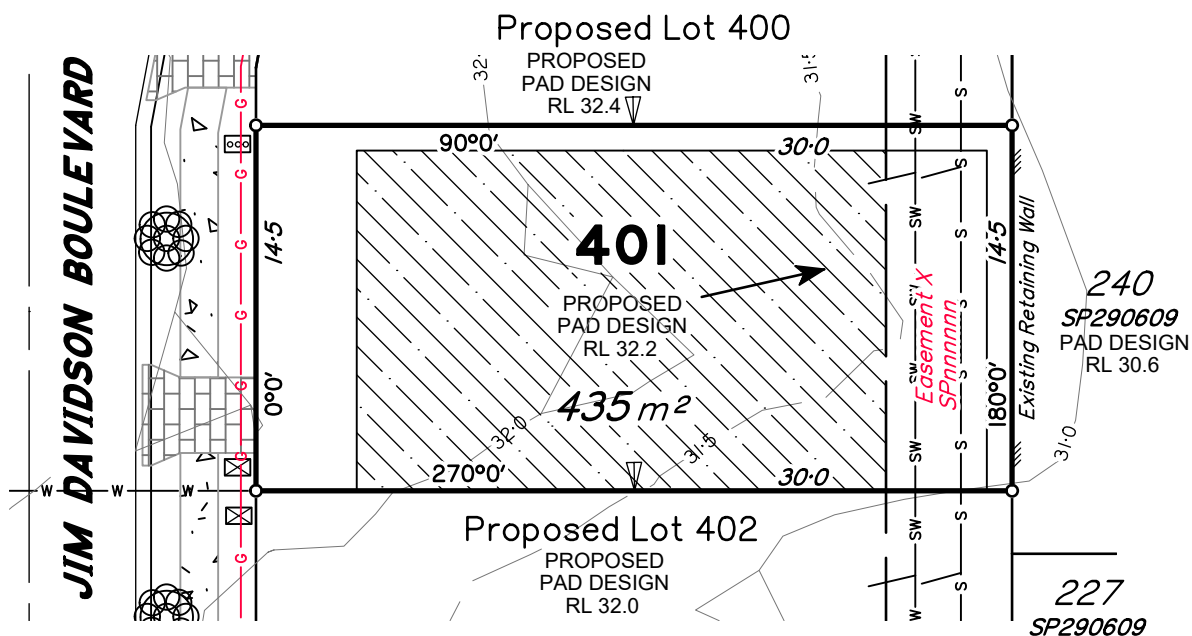
| | | | |
|---------|----------------------|--------|---|
| — 23 — | DESIGN CONTOURS | — W — | WATER |
| ○ | STORMWATER MANHOLE | — S — | SEWER |
| ▬ | STORMWATER GULLYTRAP | — SW — | STORMWATER |
| ⊠ | WATER METER | — G — | GAS |
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| — W — | WATER ENDCAP | ⊞ | ELEC, NBN & GAS CONNECTIONS |
| ⊞ | WATER SERVICE VALVE | → | INDICATES DIRECTION OF TYPICAL FALL OF 0.2m |
| ⊙ | WATER HYDRANT | ▨ | FOOTPATH |
| ▬▬▬ | KERB & CHANNEL | ▨ | DRIVEWAY |
| — — — | ROAD CENTRELINE | ▨ | BUILDING ENVELOPE |
| ☀ | STREET LIGHT | ⊗ | TREES |
| — NBN — | NBN (COMMUNICATIONS) | | |
| — UE — | ELECTRICITY (U/G) | | |



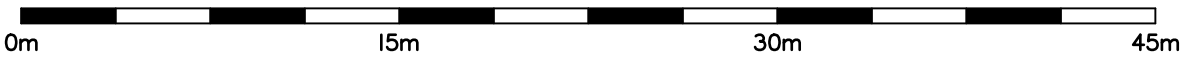
LOCALITY DIAGRAM

See also SHEET 2 of this drawing which refers to Bldg Envelope
.....
Sheet 8 Bldg Setbacks

Add 9°24'40" for MGA Zone 56



Scale 1 : 300 (at A4)



DISCLOSURE PLAN
For Lot 401 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:
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AUTHORISATION:

Neville Henry VOLKER Date: _____
Cadastral Surveyor

| | | | |
|-------------------------|--------------|-----------------|---------|
| DATE | 03/06/26 | SURVEYED | — |
| SCALE | 1 : 300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |

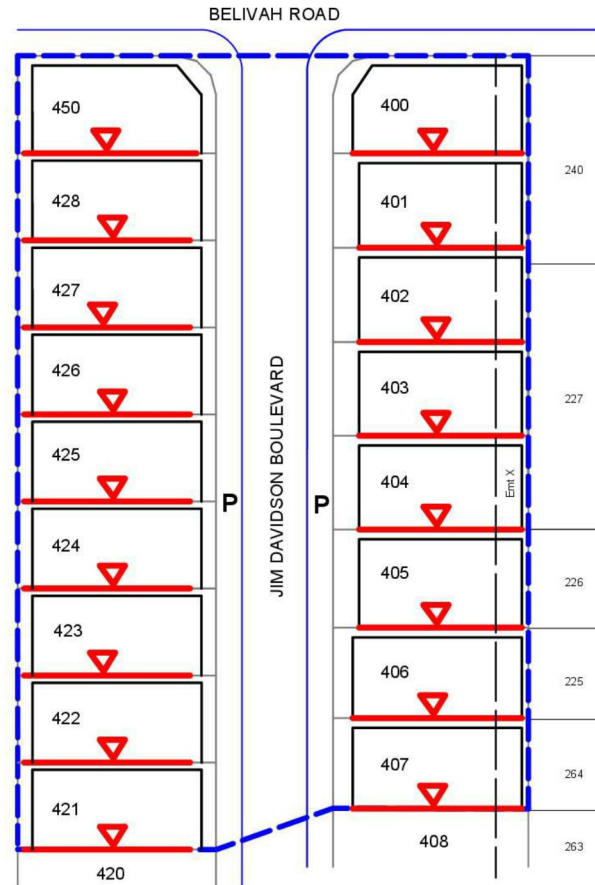


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----------|------------|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



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 BEENLEIGH QLD 4207
 EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024
 DRAWN: BD

SHEET No. - 8 OF 9
 REVISION. - V1

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DISCLOSURE PLAN
For Lot 402 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

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AUTHORISATION:

| | | |
|--|------------|----------------------|
| Neville Henry VOLKER Cadastral Surveyor | | Date: |
| DATE | 03/06/26 | SURVEYED - |
| SCALE | 1:300 (A4) | DRAWN BD25177 |
| LEVEL DATUM | A.H.D | CHECKED NHV |
| CONTOUR INTERVAL | 0.5m | |



DRAWING NO: BLV019_DP 402

DRAFT

LEGEND

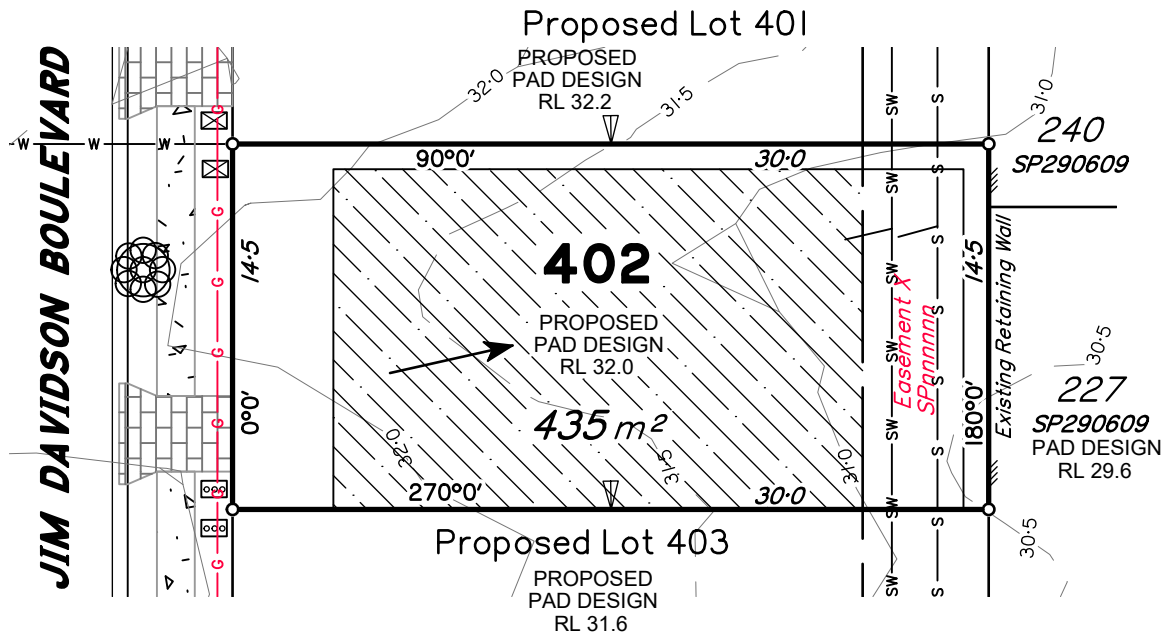
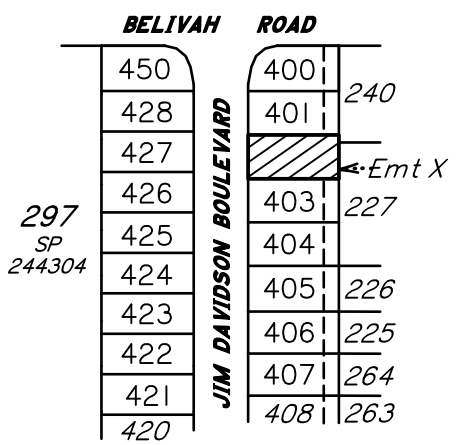
| | | | |
|---------|----------------------|--------|---|
| — 23 — | DESIGN CONTOURS | — W — | WATER |
| ○ | STORMWATER MANHOLE | — S — | SEWER |
| ▬ | STORMWATER GULLYTRAP | — SW — | STORMWATER |
| ⊠ | WATER METER | — G — | GAS |
| ● | SEWER MANHOLE | ⬮ | STREET SIGN |
| ⊥ | WATER ENDCAP | ⊠ | ELEC, NBN & GAS CONNECTIONS |
| ⊕ | WATER SERVICE VALVE | ➔ | INDICATES DIRECTION OF TYPICAL FALL OF 0.2m |
| ⊙ | WATER HYDRANT | ▨ | FOOTPATH |
| ▬▬ | KERB & CHANNEL | ▨ | DRIVEWAY |
| — | ROAD CENTRELINE | ▨ | BUILDING ENVELOPE |
| ☀ | STREET LIGHT | ⊙ | TREES |
| — NBN — | NBN (COMMUNICATIONS) | | |
| — UE — | ELECTRICITY (U/G) | | |



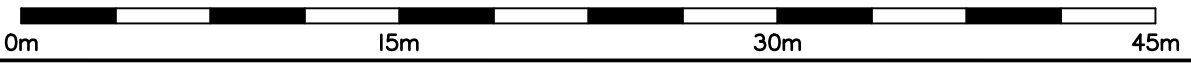
See also SHEET 2 of this drawing which refers to Bldg Envelope

 Sheet 8 Bldg Setbacks

Add 9°24'40" for MGA Zone 56



Scale 1:300 (at A4)

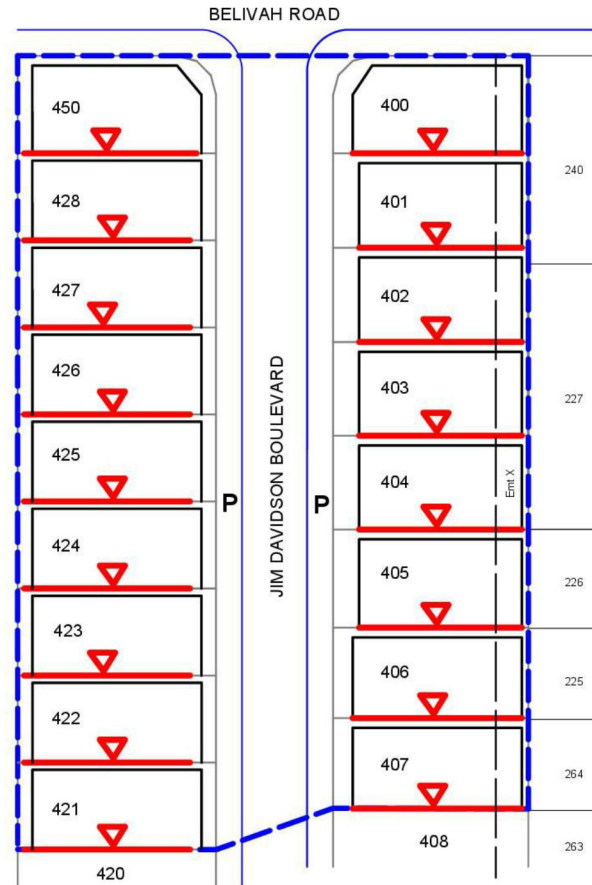


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----------|------------|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
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 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
 N H VOLKER & Co. PTY. LTD.
 P O Box 411
 BEENLEIGH QLD 4207
 EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024
 DRAWN: BD

SHEET No. - 8 OF 9
 REVISION. - V1

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP402 SHEET 2 OF 2

DISCLOSURE PLAN
For Lot 403 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

IMPORTANT NOTES:
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AUTHORISATION:

Neville Henry VOLKER Date: _____
 Cadastral Surveyor

| | | | |
|-------------------------|------------|-----------------|---------|
| DATE | 03/06/26 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |



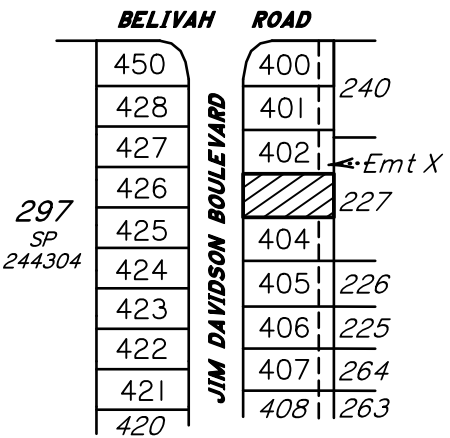
DRAWING NO: BLV019_DP 403

DRAFT

LEGEND

| | | | |
|---------|----------------------|--------|---|
| — 23 — | DESIGN CONTOURS | — W — | WATER |
| ○ | STORMWATER MANHOLE | — S — | SEWER |
| ▬ | STORMWATER GULLYTRAP | — SW — | STORMWATER |
| ⊠ | WATER METER | — G — | GAS |
| ● | SEWER MANHOLE | ⊡ | STREET SIGN |
| ⊥ | WATER ENDCAP | ⊡ | ELEC, NBN & GAS CONNECTIONS |
| ⊕ | WATER SERVICE VALVE | → | INDICATES DIRECTION OF TYPICAL FALL OF 0.2m |
| ⊙ | WATER HYDRANT | ▬ | FOOTPATH |
| ▬▬ | KERB & CHANNEL | ▬▬ | DRIVEWAY |
| — | ROAD CENTRELINE | ▬▬▬ | BUILDING ENVELOPE |
| ☀ | STREET LIGHT | ⊗ | TREES |
| — NBN — | NBN (COMMUNICATIONS) | | |
| — UE — | ELECTRICITY (U/G) | | |

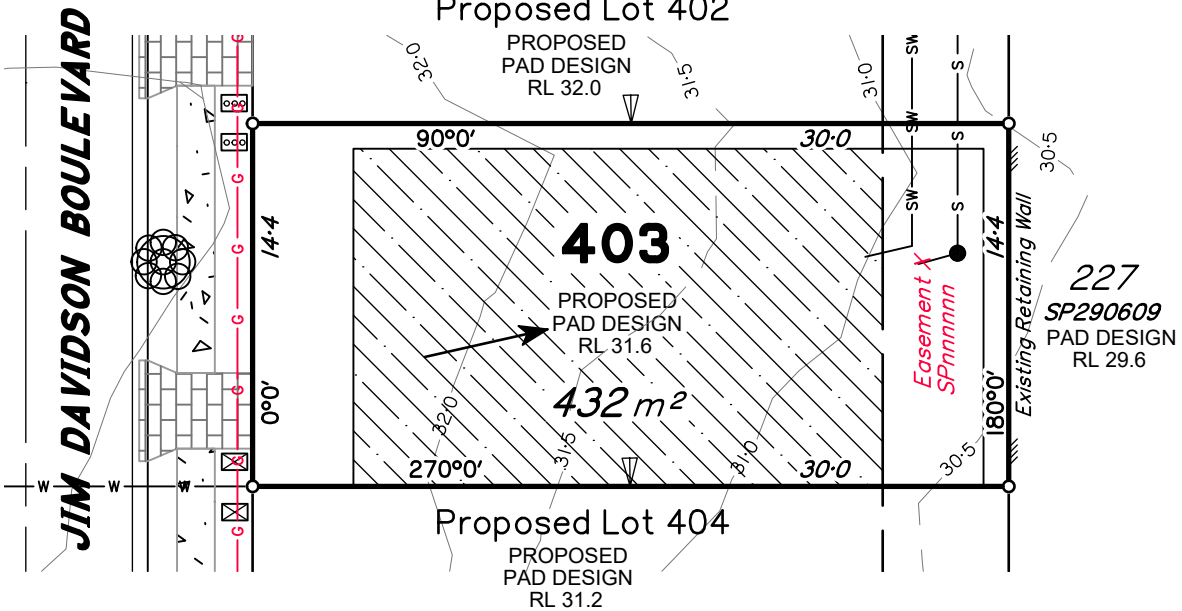
Add 9°24'40" for MGA Zone 56



LOCALITY DIAGRAM

See also SHEET 2 of this drawing which refers to Bldg Envelope

 Sheet 8 Bldg Setbacks



Scale 1:300 (at A4)

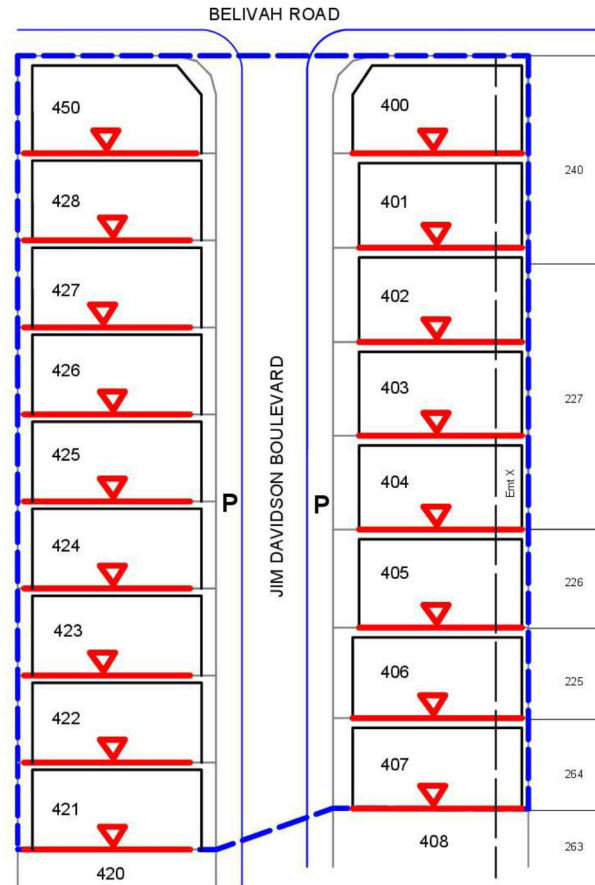


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
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- DEVELOPMENT ENVELOPE
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PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
 REVISION. - V1

DATE: 26/11/2024
 DRAWN: BD

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP403 SHEET 2 OF 2

DISCLOSURE PLAN
For Lot 404 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

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| Cadastral Surveyor | | | |
| DATE | 03/06/26 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |

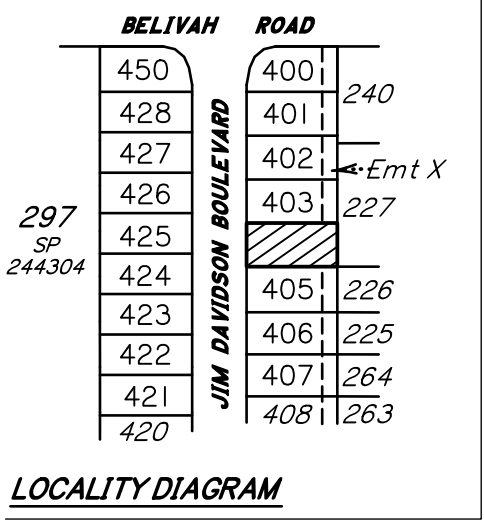


DRAWING NO: BLV019_DP 404

DRAFT

LEGEND

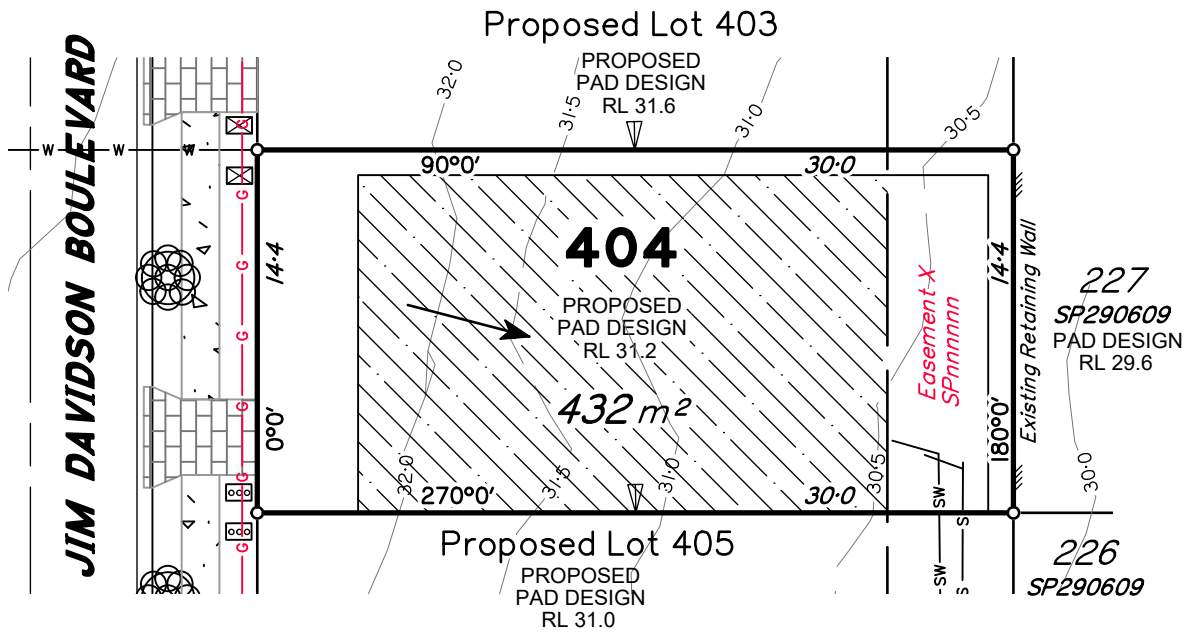
| | | | |
|---------|----------------------|--------|---|
| — 23 — | DESIGN CONTOURS | — W — | WATER |
| ○ | STORMWATER MANHOLE | — S — | SEWER |
| ⌘ | STORMWATER GULLYTRAP | — SW — | STORMWATER |
| ⊠ | WATER METER | — G — | GAS |
| ● | SEWER MANHOLE | ⊙ | STREET SIGN |
| E — W — | WATER ENDCAP | ⊞ | ELEC, NBN & GAS CONNECTIONS |
| ⊘ | WATER SERVICE VALVE | → | INDICATES DIRECTION OF TYPICAL FALL OF 0.2m |
| ⊙ | WATER HYDRANT | ▨ | FOOTPATH |
| ▬▬▬ | KERB & CHANNEL | ▨ | DRIVEWAY |
| — | ROAD CENTRELINE | ▨ | BUILDING ENVELOPE |
| ⊙ | STREET LIGHT | ⊙ | TREES |
| — NBN — | NBN (COMMUNICATIONS) | | |
| — UE — | ELECTRICITY (U/G) | | |



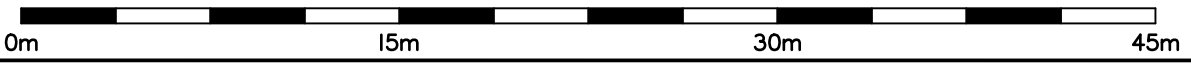
See also SHEET 2 of this drawing which refers to Bldg Envelope Sheet 8 Bldg Setbacks



Add 9°24'40" for MGA Zone 56



Scale 1:300 (at A4)

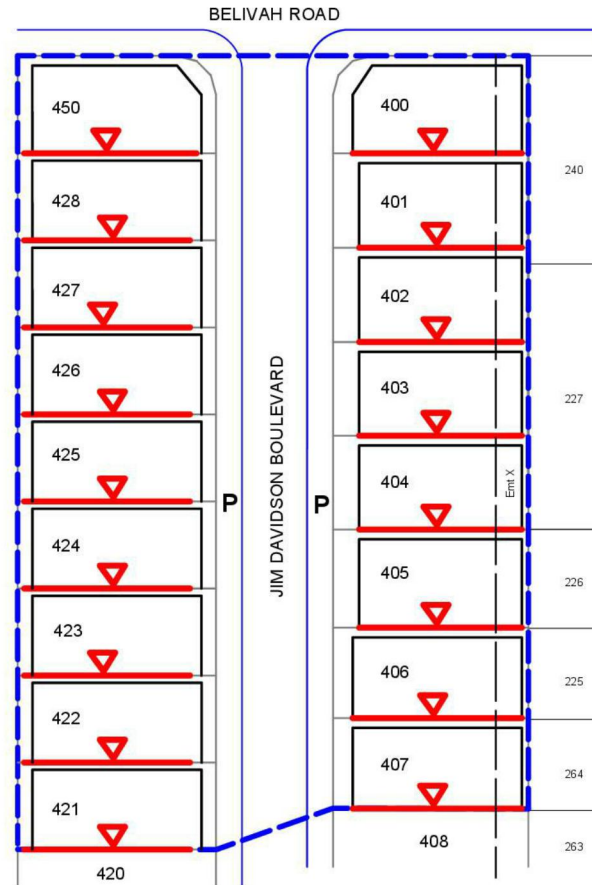


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
 N H VOLKER & Co. PTY. LTD.
 P O Box 411
 BEENLEIGH QLD 4207
 EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024
 DRAWN: BD

SHEET No. - 8 OF 9
 REVISION. - V1

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP404 SHEET 2 OF 2

DISCLOSURE PLAN
For Lot 405 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER Date: _____
 Cadastral Surveyor

| | | | |
|-------------------------|------------|-----------------|---------|
| DATE | 03/06/26 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |



DRAWING NO: BLV019_DP 405

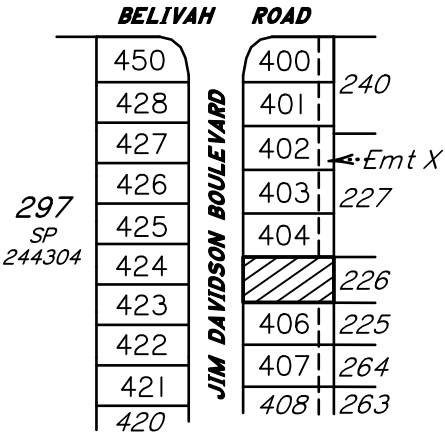
LEGEND

- 23 — DESIGN CONTOURS
- STORMWATER MANHOLE
- S — WATER
- SW — SEWER
- G — STORMWATER
- — GAS
- W — WATER
- S — SEWER
- SW — STORMWATER
- G — GAS
- — STREET SIGN
- ELEC, NBN & GAS CONNECTIONS
- INDICATES DIRECTION OF TYPICAL FALL OF 0.2m
- FOOTPATH DRIVEWAY BUILDING ENVELOPE
- — KERB & CHANNEL
- — ROAD CENTRELINE
- — STREET LIGHT
- NBN — NBN (COMMUNICATIONS)
- UE — ELECTRICITY (U/G)
- TREES

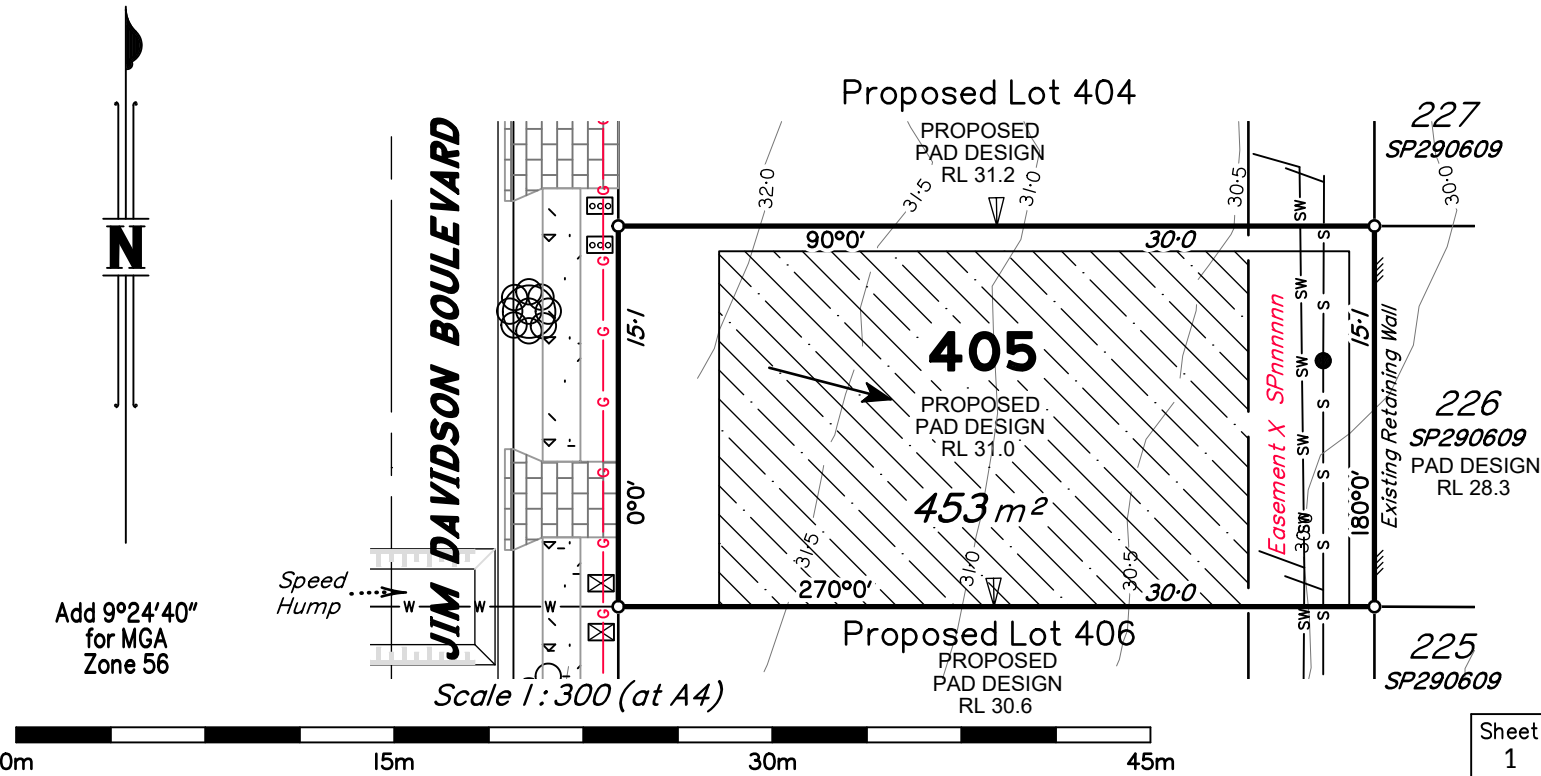
DRAFT

See also SHEET 2 of this drawing which refers to Bldg Envelope

 Sheet 8 Bldg Setbacks



LOCALITY DIAGRAM

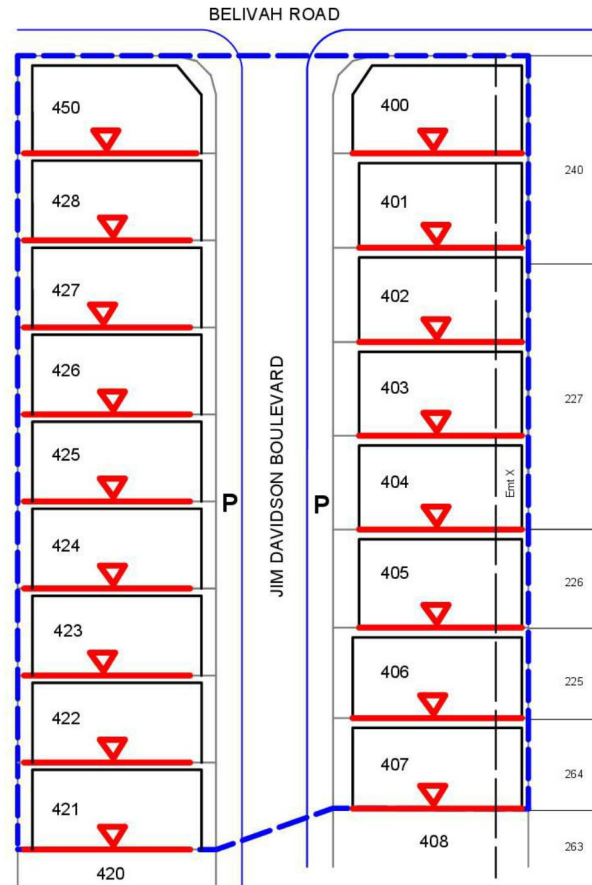


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----------|------------|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V 1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
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 P O Box 411
 BEENLEIGH QLD 4207
 EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024
 DRAWN: BD

SHEET No. - 8 OF 9
 REVISION. - V1

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP405 SHEET 2 OF 2

DISCLOSURE PLAN
For Lot 406 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

IMPORTANT NOTES:
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AUTHORISATION:

Neville Henry VOLKER Date: _____
 Cadastral Surveyor

DATE 03/06/26 **SURVEYED** -

SCALE 1:300 (A4) **DRAWN** BD25177

LEVEL DATUM A.H.D. **CHECKED** NHV

CONTOUR INTERVAL 0.5m



DRAWING NO: BLV019_DP 406

LEGEND

| | | | |
|---------|----------------------|--------|---|
| — 23 — | DESIGN CONTOURS | — W — | WATER |
| ○ | STORMWATER MANHOLE | — S — | SEWER |
| ⌒ | STORMWATER GULLYTRAP | — SW — | STORMWATER |
| ⊠ | WATER METER | — G — | GAS |
| ● | SEWER MANHOLE | ⊥ | STREET SIGN |
| — W — | WATER ENDCAP | ⊞ | ELEC, NBN & GAS CONNECTIONS |
| ⊘ | WATER SERVICE VALVE | → | INDICATES DIRECTION OF TYPICAL FALL OF 0.2m |
| ⊙ | WATER HYDRANT | ▨ | FOOTPATH |
| ▬▬▬ | KERB & CHANNEL | ▨ | DRIVEWAY |
| — | ROAD CENTRELINE | ▨ | BUILDING ENVELOPE |
| ⊙ | STREET LIGHT | ⊗ | TREES |
| — NBN — | NBN (COMMUNICATIONS) | | |
| — UE — | ELECTRICITY (U/G) | | |

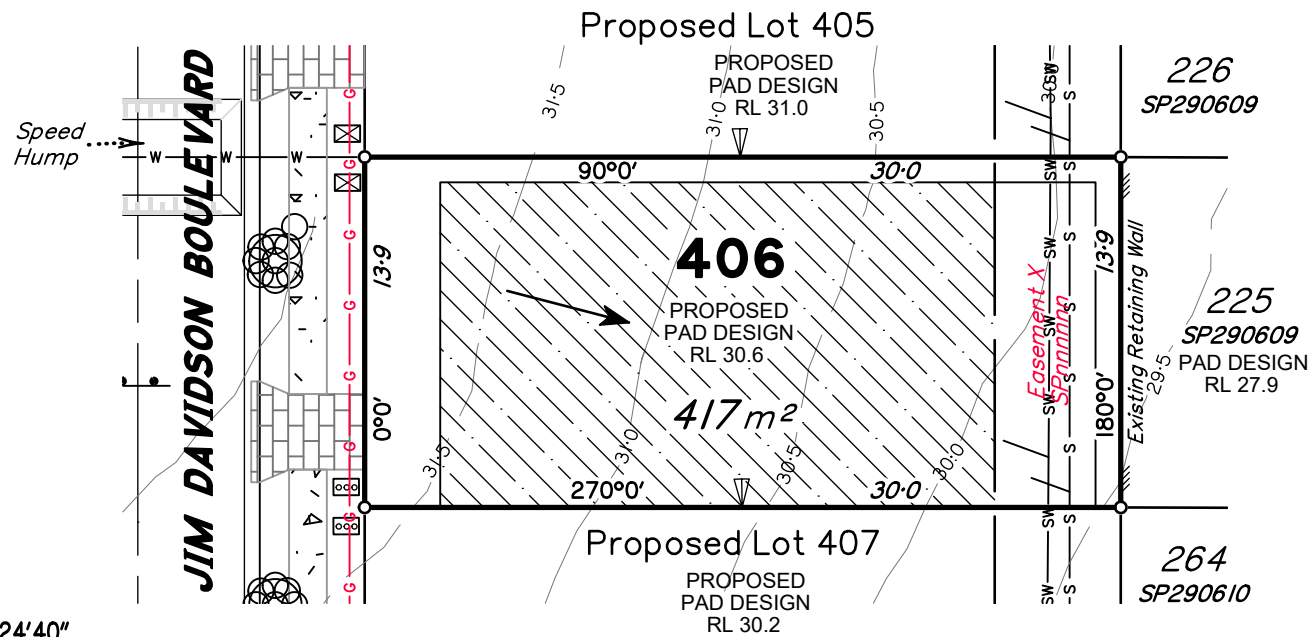
DRAFT

See also SHEET 2 of this drawing which refers to Bldg Envelope

 Sheet 8 Bldg Setbacks

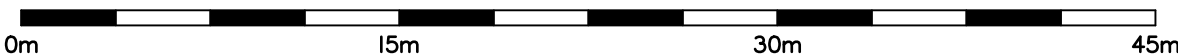
| BELIVAH ROAD | | JIM DAVIDSON BOULEVARD | |
|---------------|-----|------------------------|---------|
| 450 | 400 | 240 | |
| 428 | 401 | | |
| 427 | 402 | | ← Emt X |
| 426 | 403 | 227 | |
| 297 SP 244304 | 404 | | |
| 425 | 405 | 226 | |
| 424 | 405 | 225 | |
| 423 | 407 | 264 | |
| 422 | 408 | 263 | |
| 421 | | | |
| 420 | | | |

LOCALITY DIAGRAM



Add 9°24'40" for MGA Zone 56

Scale 1:300 (at A4)

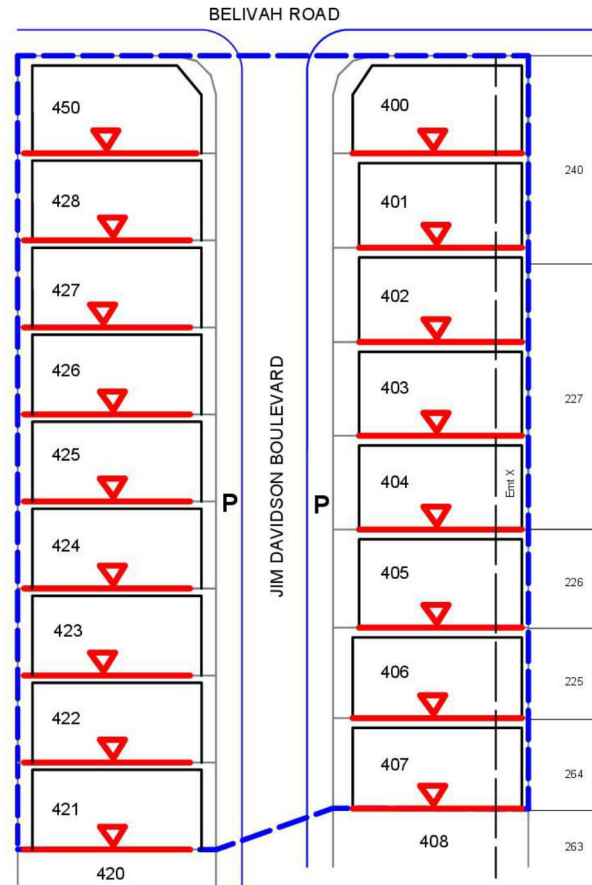


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V 1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
 N H VOLKER & Co. PTY. LTD.
 P O Box 411
 BEENLEIGH QLD 4207
 EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024
 DRAWN: BD

SHEET No. - 8 OF 9
 REVISION. - V1

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP406 SHEET 2 OF 2

DISCLOSURE PLAN
For Lot 407 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER Date: _____
 Cadastral Surveyor

| | | | |
|-------------------------|------------|-----------------|---------|
| DATE | 03/06/26 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |



DRAWING NO: BLV019_DP 407

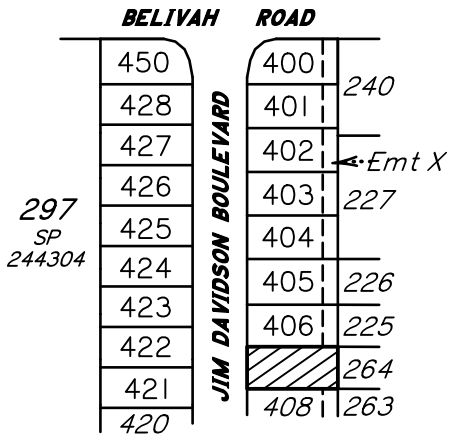
LEGEND

- 23 — DESIGN CONTOURS
- STORMWATER MANHOLE
- S — WATER
- SW — SEWER
- G — STORMWATER
- — GAS
- ☒ WATER METER
- SEWER MANHOLE
- W — WATER ENDCAP
- ☒ ELEC, NBN & GAS CONNECTIONS
- ☒ WATER SERVICE VALVE
- ☒ WATER HYDRANT
- INDICATES DIRECTION OF TYPICAL FALL OF 0:2m
- KERB & CHANNEL
- ROAD CENTRELINE
- ☀ STREET LIGHT
- NBN — NBN (COMMUNICATIONS)
- UE — ELECTRICITY (U/G)
- FOOTPATH
- DRIVEWAY
- BUILDING ENVELOPE
- TREES

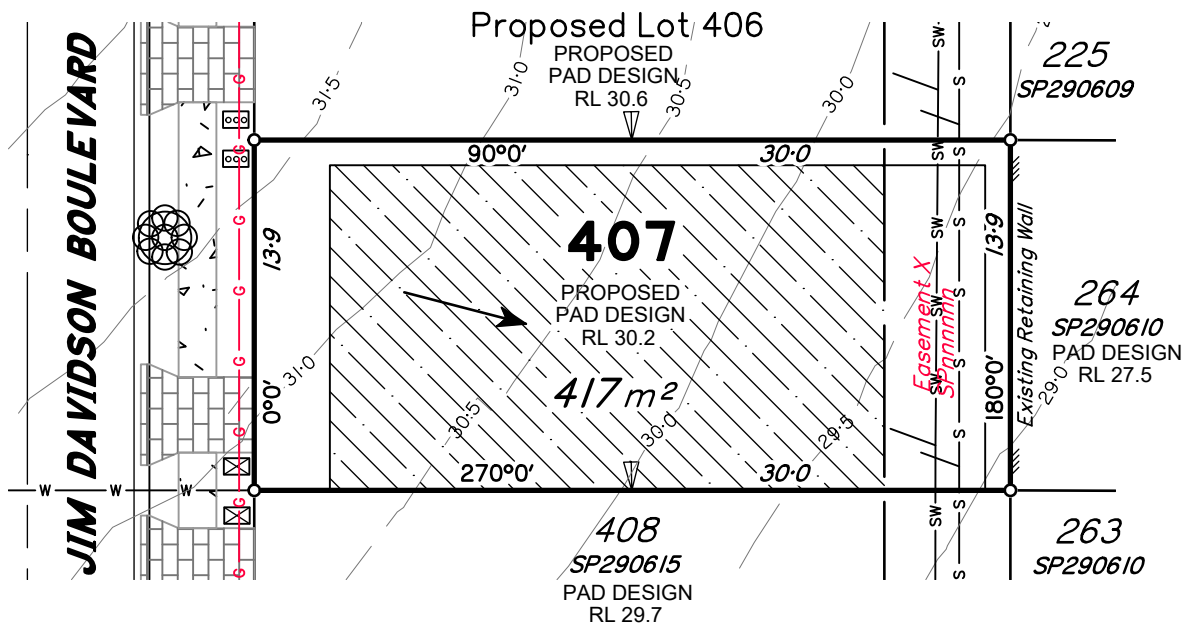
DRAFT

See also SHEET 2 of this drawing which refers to Bldg Envelope

 Sheet 8 Bldg Setbacks

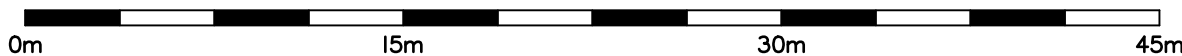


LOCALITY DIAGRAM



Add 9°24'40" for MGA Zone 56

Scale 1:300 (at A4)

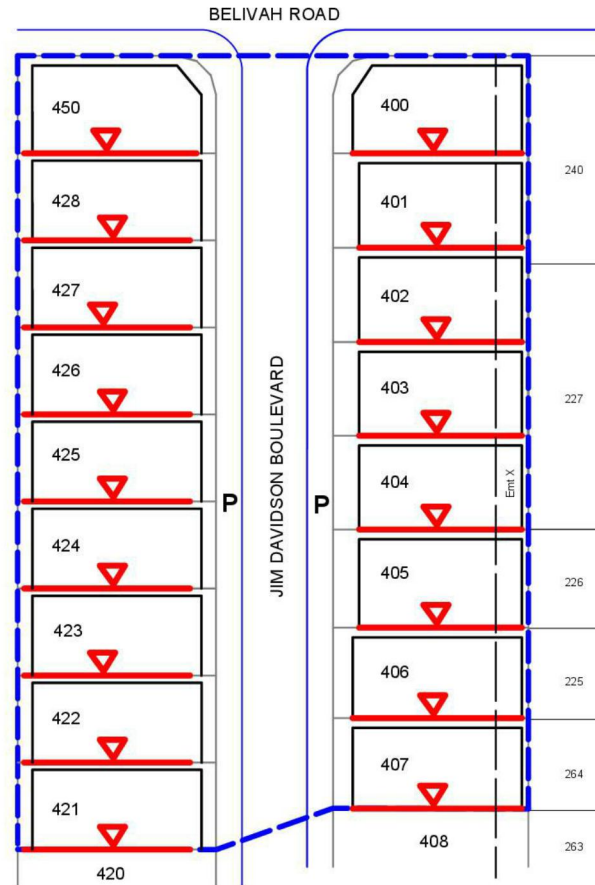


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----------|------------|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
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 P O Box 411
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 EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024
 DRAWN: BD

SHEET No. - 8 OF 9
 REVISION. - V1

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DISCLOSURE PLAN
 For Lot 421 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

IMPORTANT NOTES:
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AUTHORISATION:

Neville Henry VOLKER Date:
 Cadastral Surveyor

| | | | |
|-------------------------|------------|-----------------|---------|
| DATE | 03/06/26 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |



DRAWING NO: BLV019_DP 421

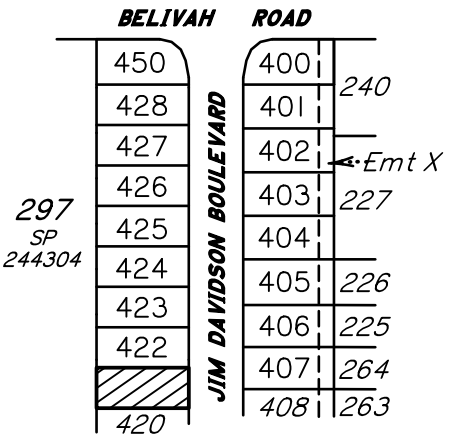
LEGEND

- 23 — DESIGN CONTOURS
- STORMWATER MANHOLE
- ▬ STORMWATER GULLYTRAP
- ⊠ WATER METER
- SEWER MANHOLE
- W — WATER ENDCAP
- ⊗ WATER SERVICE VALVE
- ⊙ WATER HYDRANT
- ▬▬ KERB & CHANNEL
- ROAD CENTRELINE
- ⊙ STREET LIGHT
- NBN — NBN (COMMUNICATIONS)
- UE — ELECTRICITY (U/G)
- W — WATER
- S — SEWER
- SW — STORMWATER
- G — GAS
- ⊠ STREET SIGN
- ⊠ ELEC, NBN & GAS CONNECTIONS
- INDICATES DIRECTION OF TYPICAL FALL OF 0:2m
- ▬ FOOTPATH
- ▬ DRIVEWAY
- ▬ BUILDING ENVELOPE
- ⊙ TREES

DRAFT

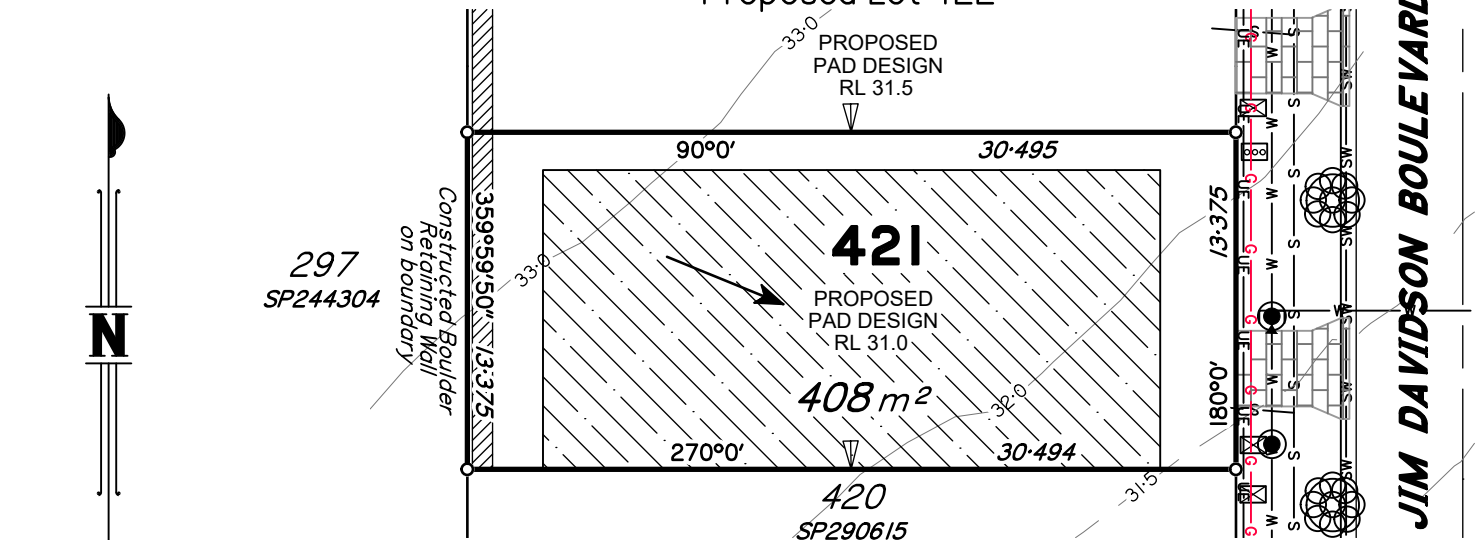
See also SHEET 2 of this drawing which refers to Bldg Envelope

 Sheet 8 Bldg Setbacks



LOCALITY DIAGRAM

Proposed Lot 422



Add 9°24'40" for MGA Zone 56

Scale 1:300 (at A4)

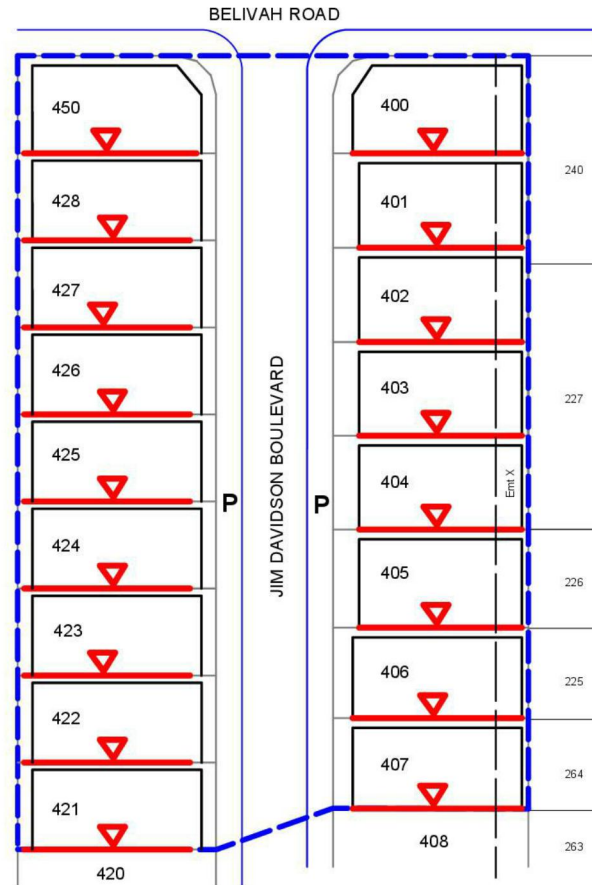


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----------|------------|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V 1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
 N H VOLKER & Co. PTY. LTD.
 P O Box 411
 BEENLEIGH QLD 4207
 EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024
 DRAWN: BD

SHEET No. - 8 OF 9
 REVISION. - V1

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP421 SHEET 2 OF 2

DISCLOSURE PLAN
For Lot 422 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan. This plan has been prepared for Davidsons At Belivah for the purposes of a **Disclosure Plan under the Land Sales Act 1984**. It is not to be used for any other purpose and is subject to the following limitations. The lot dimensions and areas shown hereon are subject to final survey and also subject to Council and other authorities. Notwithstanding the limits of filling shown, the actual limits shall be determined on site by the engineer during construction. Compaction of any fill material placed on this site shall be completed under inspection and testing services in accordance with AS3798-2007. Location of sewer, stormwater, water, electric and communications are shown from engineering drawings and may differ from the as constructed location. These drawings are copyright and are not to be used or reproduced without the written permission of NH Volker and Co Pty Ltd.

AUTHORISATION:

Neville Henry VOLKER Date: _____
 Cadastral Surveyor

| | | | |
|-------------------------|------------|-----------------|---------|
| DATE | 03/06/26 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |



DRAWING NO: BLV019_DP 422

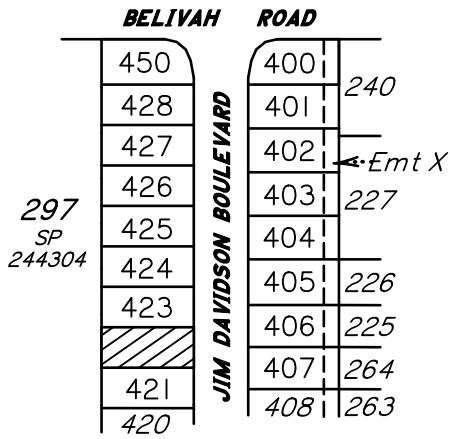
LEGEND

- 23 — DESIGN CONTOURS
- STORMWATER MANHOLE
- ▬ STORMWATER GULLYTRAP
- ⊠ WATER METER
- SEWER MANHOLE
- W — WATER ENDCAP
- ⊗ WATER SERVICE VALVE
- ⊙ WATER HYDRANT
- ▬▬ KERB & CHANNEL
- ROAD CENTRELINE
- ☀ STREET LIGHT
- NBN — NBN (COMMUNICATIONS)
- UE — ELECTRICITY (U/G)
- W — WATER
- S — SEWER
- SW — STORMWATER
- G — GAS
- ⊠ STREET SIGN
- ⊠ ELEC, NBN & GAS CONNECTIONS
- INDICATES DIRECTION OF TYPICAL FALL OF 0:2m
- ▬ FOOTPATH
- ▬ DRIVEWAY
- ▬ BUILDING ENVELOPE
- ⊙ TREES

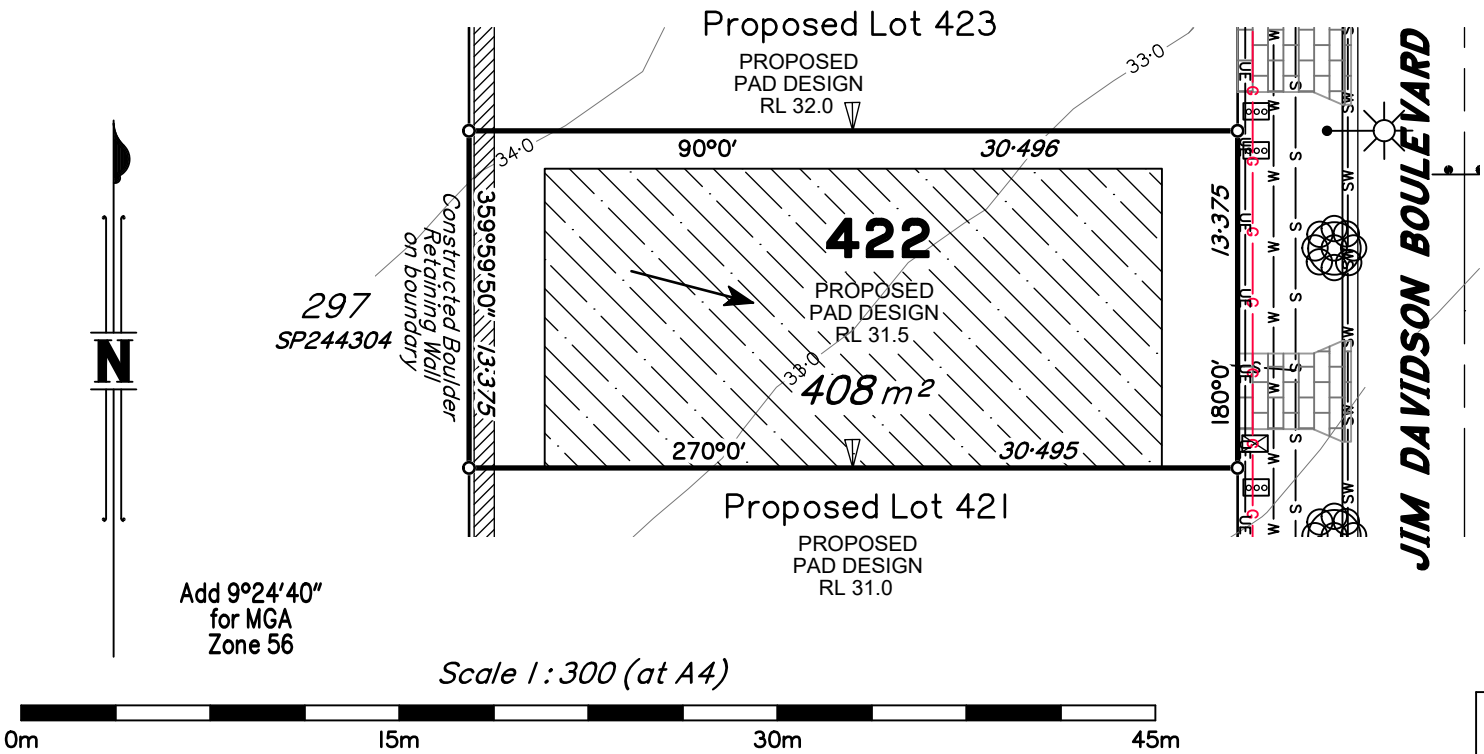
DRAFT

See also SHEET 2 of this drawing which refers to Bldg Envelope

 Sheet 8 Bldg Setbacks



LOCALITY DIAGRAM

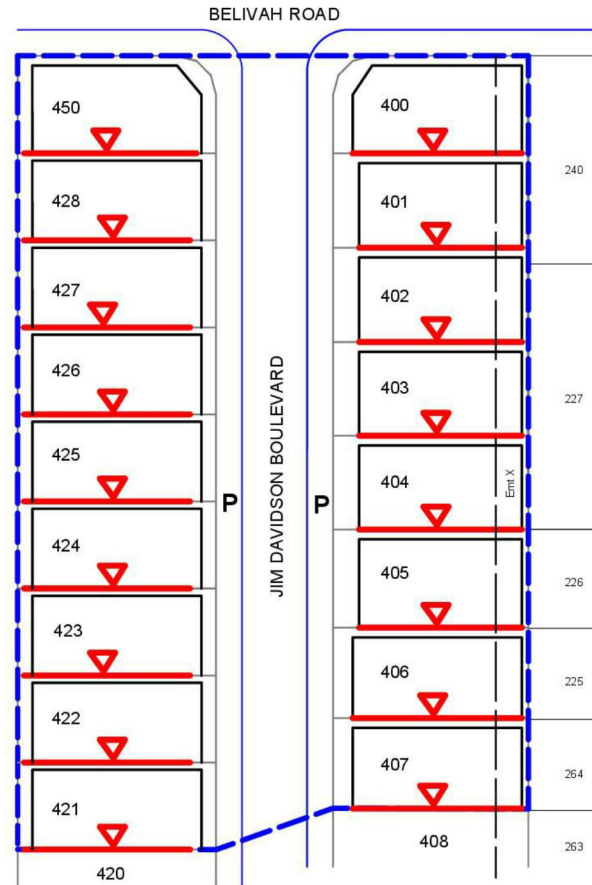


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----------|------------|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



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 EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024
 DRAWN: BD

SHEET No. - 8 OF 9
 REVISION. - V1

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP422 SHEET 2 OF 2

DISCLOSURE PLAN
For Lot 423 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

IMPORTANT NOTES:
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AUTHORISATION:

| | |
|--|----------------------|
| Neville Henry VOLKER Cadastral Surveyor | Date: |
| DATE 03/06/26 | SURVEYED - |
| SCALE 1:300 (A4) | DRAWN BD25177 |
| LEVEL DATUM A.H.D | CHECKED NHV |
| CONTOUR INTERVAL | 0.5m |



DRAWING NO: BLV019_DP 423

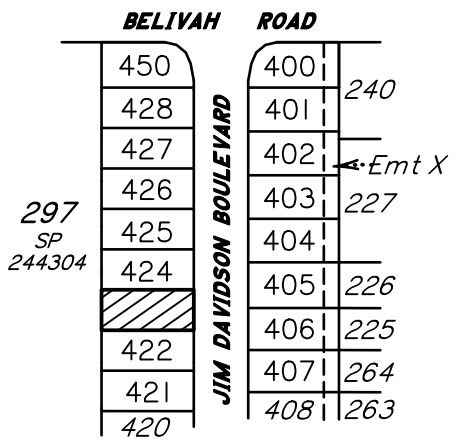
LEGEND

- 23 — DESIGN CONTOURS
- STORMWATER MANHOLE
- ▬ STORMWATER GULLYTRAP
- ⊠ WATER METER
- SEWER MANHOLE
- W — WATER ENDCAP
- ⊗ WATER SERVICE VALVE
- ⊙ WATER HYDRANT
- ▬▬▬ KERB & CHANNEL
- ROAD CENTRELINE
- ⊙ STREET LIGHT
- NBN — NBN (COMMUNICATIONS)
- UE — ELECTRICITY (U/G)
- W — WATER
- S — SEWER
- SW — STORMWATER
- G — GAS
- ⊠ STREET SIGN
- ⊠ ELEC, NBN & GAS CONNECTIONS
- INDICATES DIRECTION OF TYPICAL FALL OF 0.2m
- ▬ FOOTPATH
- ▬ DRIVEWAY
- ▬ BUILDING ENVELOPE
- ⊙ TREES

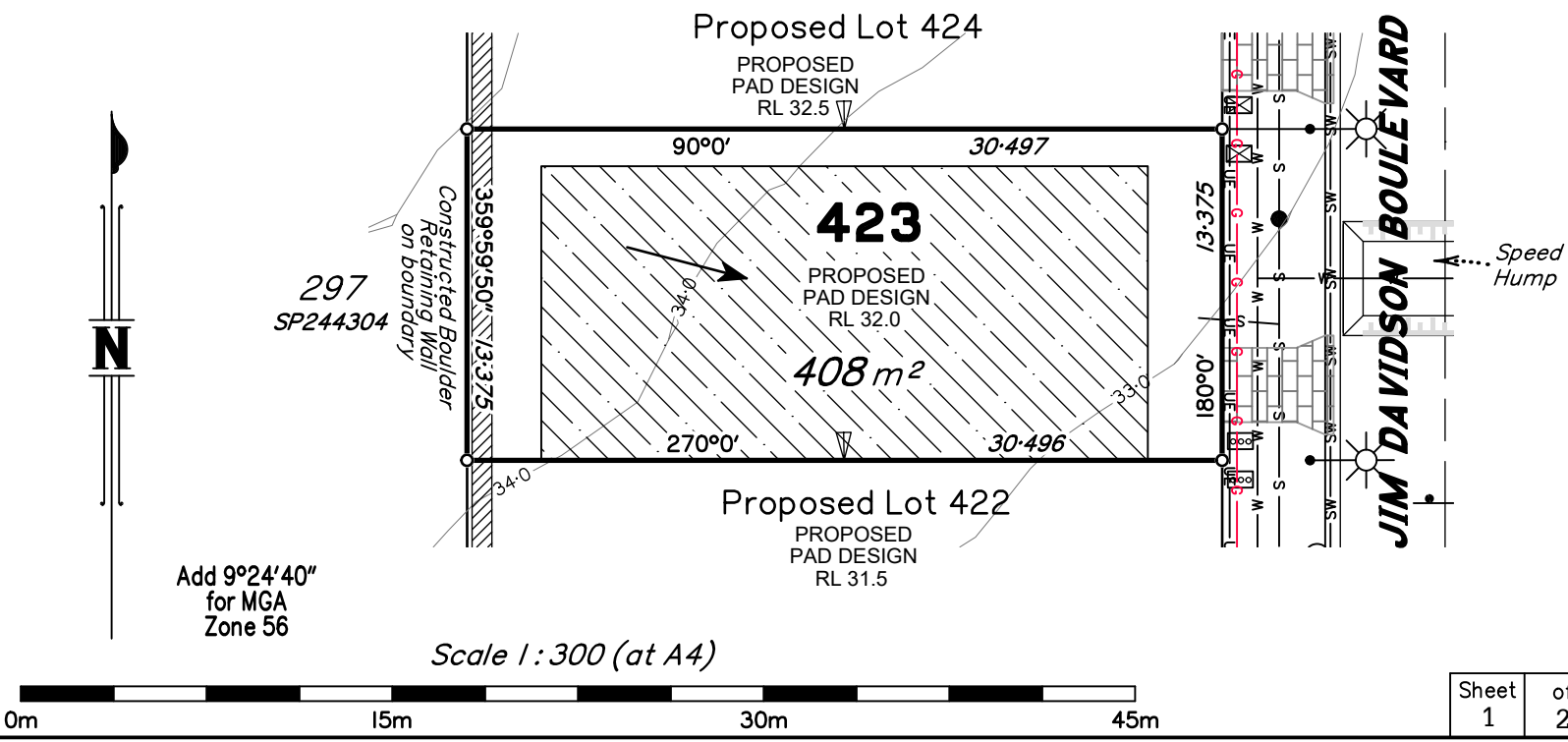
DRAFT

See also SHEET 2 of this drawing which refers to Bldg Envelope

 Sheet 8 Bldg Setbacks



LOCALITY DIAGRAM

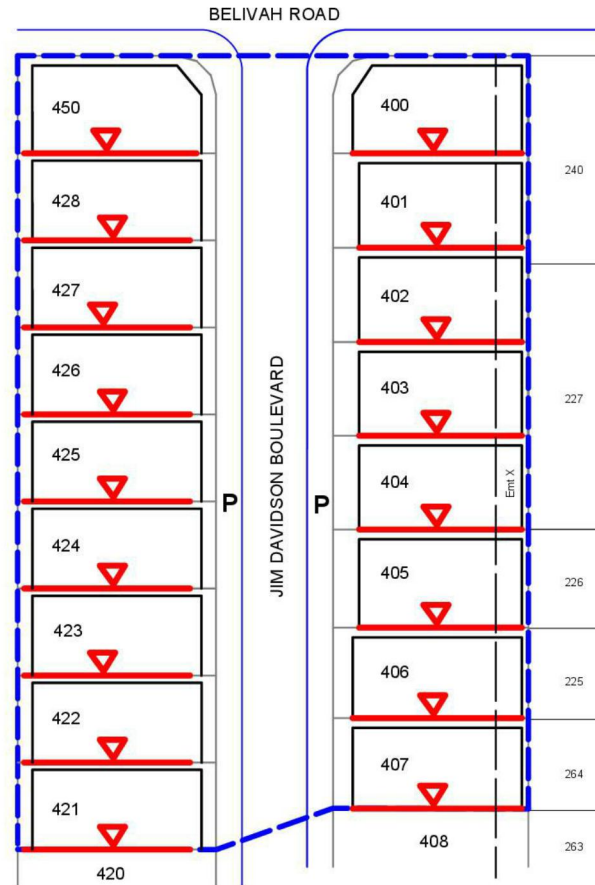


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----------|------------|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



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 EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
 REVISION. - V1

DATE: 26/11/2024
 DRAWN: BD

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DISCLOSURE PLAN
 For Lot 424 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

IMPORTANT NOTES:
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AUTHORISATION:

| | |
|--|----------------------|
| Neville Henry VOLKER Cadastral Surveyor | Date: |
| DATE 03/06/26 | SURVEYED - |
| SCALE 1:300 (A4) | DRAWN BD25177 |
| LEVEL DATUM A.H.D | CHECKED NHV |
| CONTOUR INTERVAL | 0.5m |



DRAWING NO: BLV019_DP 424

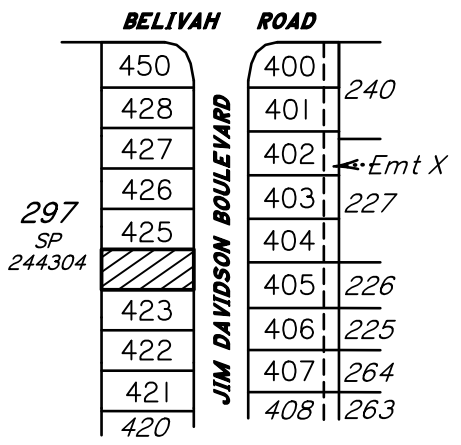
LEGEND

- 23 — DESIGN CONTOURS
- STORMWATER MANHOLE
- ▬ STORMWATER GULLYTRAP
- ⊠ WATER METER
- SEWER MANHOLE
- W — WATER
- S — SEWER
- SW — STORMWATER
- G — GAS
- W — WATER ENDCAP
- ⊗ WATER SERVICE VALVE
- ⊙ WATER HYDRANT
- K — KERB & CHANNEL
- R — ROAD CENTRELINE
- ☀ STREET LIGHT
- NBN — NBN (COMMUNICATIONS)
- UE — ELECTRICITY (U/G)
- W — WATER
- S — SEWER
- SW — STORMWATER
- G — GAS
- W — WATER ENDCAP
- ⊗ WATER SERVICE VALVE
- ⊙ WATER HYDRANT
- K — KERB & CHANNEL
- R — ROAD CENTRELINE
- ☀ STREET LIGHT
- NBN — NBN (COMMUNICATIONS)
- UE — ELECTRICITY (U/G)
- ⊠ ELEC, NBN & GAS CONNECTIONS
- INDICATES DIRECTION OF TYPICAL FALL OF 0:2m
- ▨ FOOTPATH
- ▩ DRIVEWAY
- ▨ BUILDING ENVELOPE
- ⊗ TREES

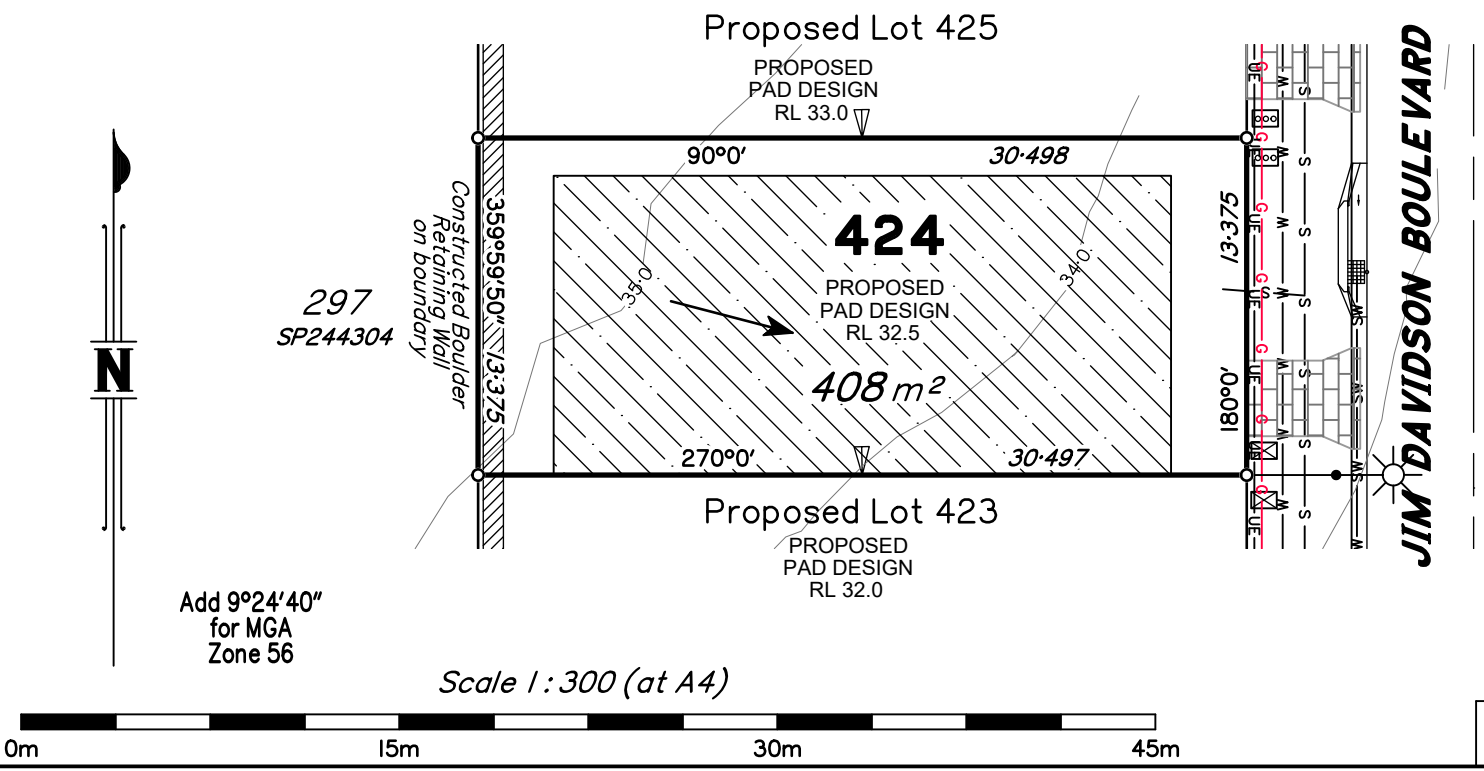
DRAFT

See also SHEET 2 of this drawing which refers to Bldg Envelope

 Sheet 8 Bldg Setbacks



LOCALITY DIAGRAM

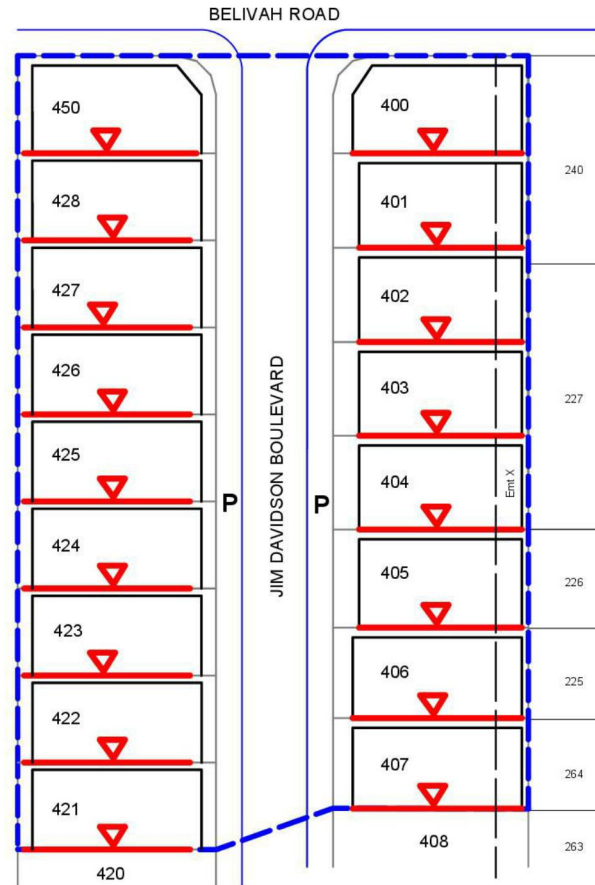


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----------|------------|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
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 P O Box 411
 BEENLEIGH QLD 4207
 EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024
 DRAWN: BD

SHEET No. - 8 OF 9
 REVISION. - V1

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP424 SHEET 2 OF 2

DISCLOSURE PLAN
For Lot 425 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

IMPORTANT NOTES:
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AUTHORISATION:

Neville Henry VOLKER Date: _____
 Cadastral Surveyor

| | | | |
|-------------------------|------------|-----------------|---------|
| DATE | 03/06/26 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |



DRAWING NO: BLV019_DP 425

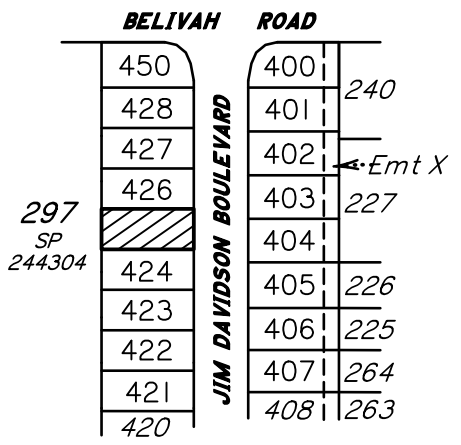
LEGEND

- 23 — DESIGN CONTOURS
- STORMWATER MANHOLE
- ▬ STORMWATER GULLYTRAP
- ⊠ WATER METER
- SEWER MANHOLE
- W — WATER ENDCAP
- ⊗ WATER SERVICE VALVE
- ⊙ WATER HYDRANT
- ▬▬ KERB & CHANNEL
- ROAD CENTRELINE
- ☀ STREET LIGHT
- NBN — NBN (COMMUNICATIONS)
- UE — ELECTRICITY (U/G)
- W — WATER
- S — SEWER
- SW — STORMWATER
- G — GAS
- ⊠ STREET SIGN
- ⊠ ELEC, NBN & GAS CONNECTIONS
- INDICATES DIRECTION OF TYPICAL FALL OF 0:2m
- ▬ FOOTPATH
- ▬ DRIVEWAY
- ▬ BUILDING ENVELOPE
- ⊗ TREES

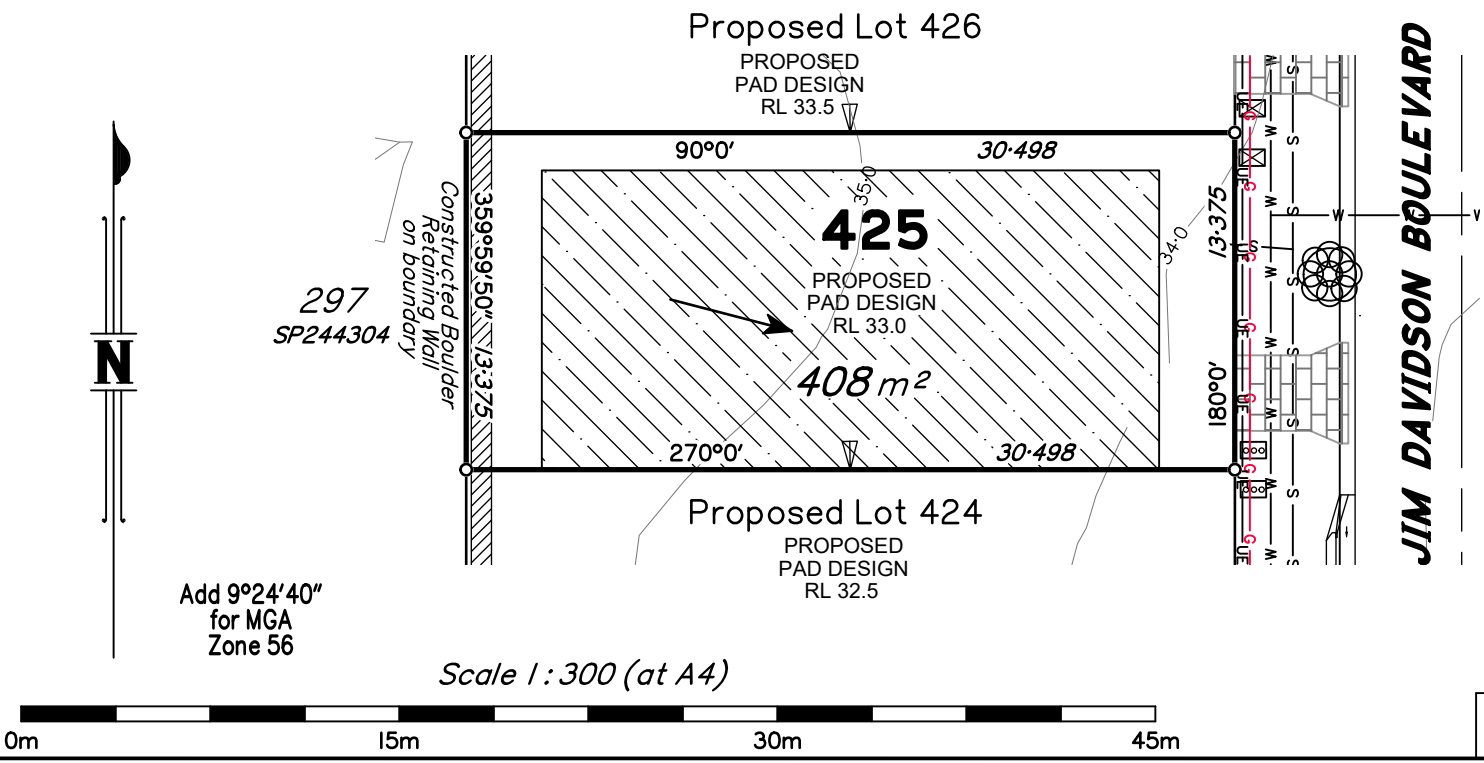
DRAFT

See also SHEET 2 of this drawing which refers to Bldg Envelope

 Sheet 8 Bldg Setbacks



LOCALITY DIAGRAM

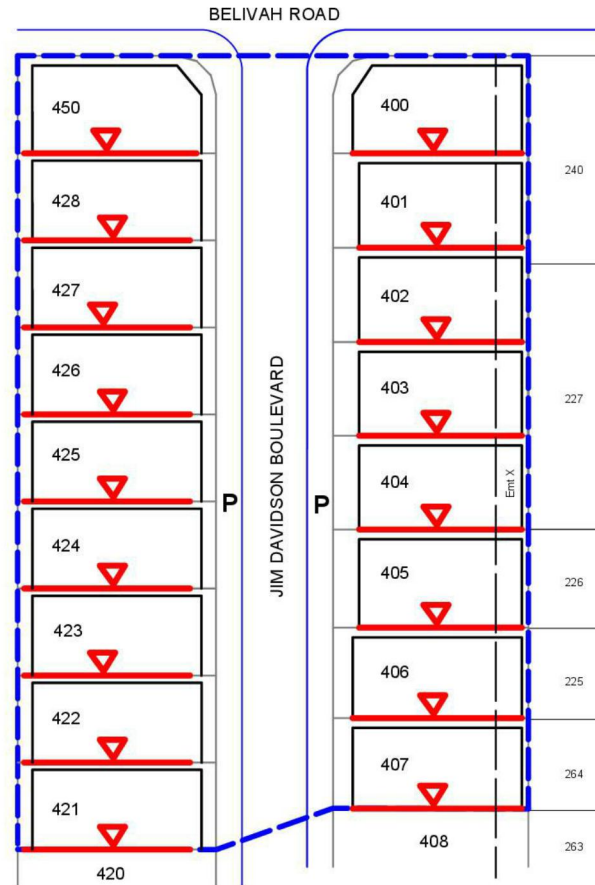


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----------|------------|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



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 BEENLEIGH QLD 4207
 EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
 REVISION. - V1

DATE: 26/11/2024
 DRAWN: BD

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP425 SHEET 2 OF 2

DISCLOSURE PLAN

For Lot 426 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER Date: _____
 Cadastral Surveyor

| | | | |
|-------------------------|------------|-----------------|---------|
| DATE | 03/06/26 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |



DRAWING NO: BLV019_DP 426

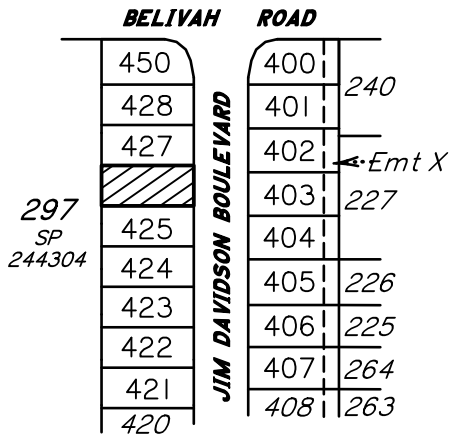
LEGEND

- 23 — DESIGN CONTOURS
- STORMWATER MANHOLE
- S — WATER
- SW — SEWER
- G — STORMWATER
- G — GAS
- W — WATER
- S — SEWER
- SW — STORMWATER
- G — GAS
- STREET SIGN
- ELEC, NBN & GAS CONNECTIONS
- INDICATES DIRECTION OF TYPICAL FALL OF 0.2m
- FOOTPATH DRIVEWAY BUILDING ENVELOPE
- KERB & CHANNEL
- ROAD CENTRELINE
- STREET LIGHT
- NBN — NBN (COMMUNICATIONS)
- UE — ELECTRICITY (U/G)
- TRES

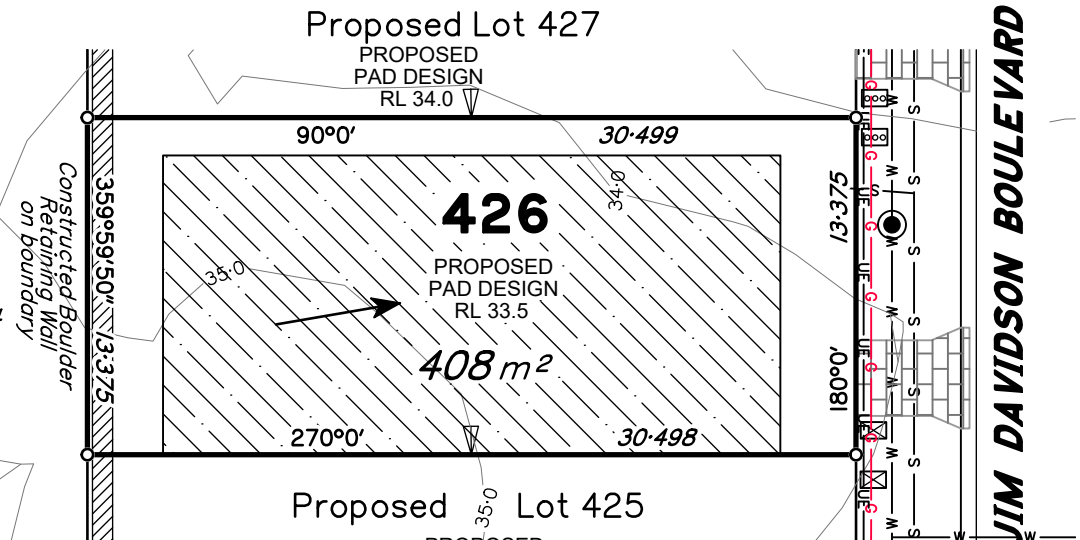
DRAFT

See also SHEET 2 of this drawing which refers to Bldg Envelope

 Sheet 8 Bldg Setbacks



LOCALITY DIAGRAM



Add 9°24'40" for MGA Zone 56

Scale 1:300 (at A4)

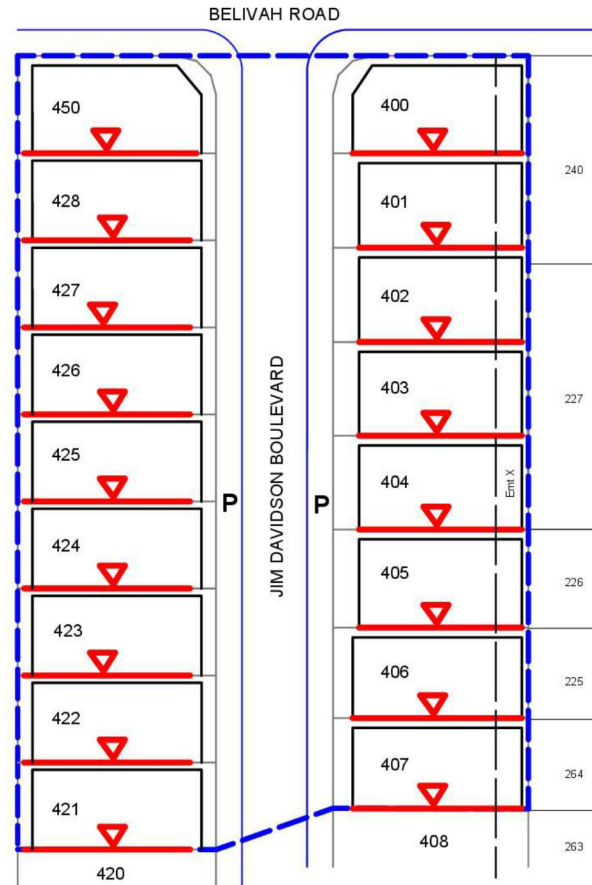


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----|-----|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V 1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



PREPARED BY:
 N H VOLKER & Co. PTY. LTD.
 P O Box 411
 BEENLEIGH QLD 4207
 EMAIL: nvolker@bigpond.net.au

CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024
 DRAWN: BD

SHEET No. - 8 OF 9
 REVISION. - V1

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP426 SHEET 2 OF 2

DISCLOSURE PLAN
For Lot 427 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

IMPORTANT NOTES:

These notes are an integral part of the plan. This plan has been prepared for Davidsons At Belivah for the purposes of a **Disclosure Plan under the Land Sales Act 1984**. It is not to be used for any other purpose and is subject to the following limitations. The lot dimensions and areas shown hereon are subject to final survey and also subject to Council and other authorities. Notwithstanding the limits of filling shown, the actual limits shall be determined on site by the engineer during construction. Compaction of any fill material placed on this site shall be completed under inspection and testing services in accordance with AS3798-2007. Location of sewer, stormwater, water, electric and communications are shown from engineering drawings and may differ from the as constructed location. These drawings are copyright and are not to be used or reproduced without the written permission of NH Volker and Co Pty Ltd.

AUTHORISATION:

Neville Henry VOLKER Date: _____
 Cadastral Surveyor

| | | | |
|-------------------------|------------|-----------------|---------|
| DATE | 03/06/26 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |



DRAWING NO: BLV019_DP 427

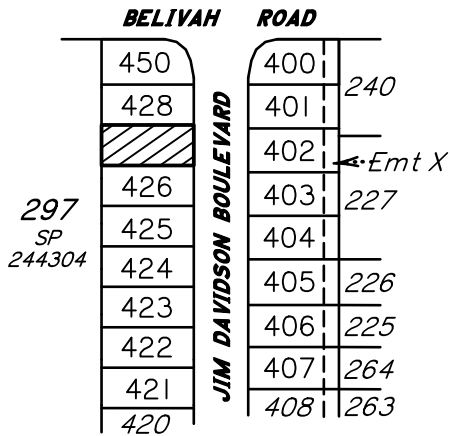
LEGEND

- 23 — DESIGN CONTOURS
- STORMWATER MANHOLE
- ▬ STORMWATER GULLYTRAP
- ⊠ WATER METER
- SEWER MANHOLE
- W — WATER ENDCAP
- ⊗ WATER SERVICE VALVE
- ⊙ WATER HYDRANT
- ▬▬ KERB & CHANNEL
- ROAD CENTRELINE
- ⊙ STREET LIGHT
- NBN — NBN (COMMUNICATIONS)
- UE — ELECTRICITY (U/G)
- W — WATER
- S — SEWER
- SW — STORMWATER
- G — GAS
- ⊠ STREET SIGN
- ⊠ ELEC, NBN & GAS CONNECTIONS
- INDICATES DIRECTION OF TYPICAL FALL OF 0:2m
- ▬ FOOTPATH
- ▬ DRIVEWAY
- ▬ BUILDING ENVELOPE
- ⊙ TREES

DRAFT

See also SHEET 2 of this drawing which refers to Bldg Envelope

 Sheet 8 Bldg Setbacks



LOCALITY DIAGRAM

Proposed Lot 428

PROPOSED PAD DESIGN
 RL 34.2

427

PROPOSED PAD DESIGN
 RL 34.0

408 m²

Proposed Lot 426

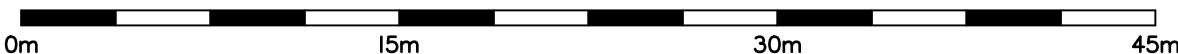
PROPOSED PAD DESIGN
 RL 33.5

297
 SP244304

Constructed Boulder Retaining Wall on boundary

Add 9°24'40" for MGA Zone 56

Scale 1:300 (at A4)



DISCLOSURE PLAN

For Lot 428 (on SP290617)
Jim Davidson Boulevard
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
 Local Authority: LOGAN C.C.
 Map Ref: 9542-31411

IMPORTANT NOTES:

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AUTHORISATION:

Neville Henry VOLKER Date: _____
 Cadastral Surveyor

| | | | |
|-------------------------|------------|-----------------|---------|
| DATE | 03/06/26 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |



DRAWING NO: BLV019_DP 428

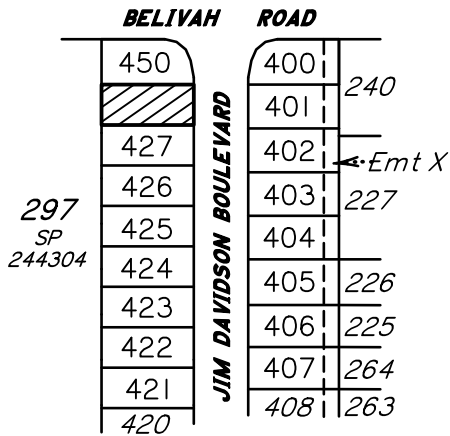
LEGEND

- 23 — DESIGN CONTOURS
- STORMWATER MANHOLE
- ▬ STORMWATER GULLYTRAP
- ⊠ WATER METER
- SEWER MANHOLE
- W — WATER ENDCAP
- ⊗ WATER SERVICE VALVE
- ⊙ WATER HYDRANT
- ▬▬ KERB & CHANNEL
- ROAD CENTRELINE
- ⊙ STREET LIGHT
- NBN — NBN (COMMUNICATIONS)
- UE — ELECTRICITY (U/G)
- W — WATER
- S — SEWER
- SW — STORMWATER
- G — GAS
- ⊠ STREET SIGN
- ⊠ ELEC, NBN & GAS CONNECTIONS
- INDICATES DIRECTION OF TYPICAL FALL OF 0:2m
- ▬ FOOTPATH
- ▬ DRIVEWAY
- ▬ BUILDING ENVELOPE
- ⊙ TREES

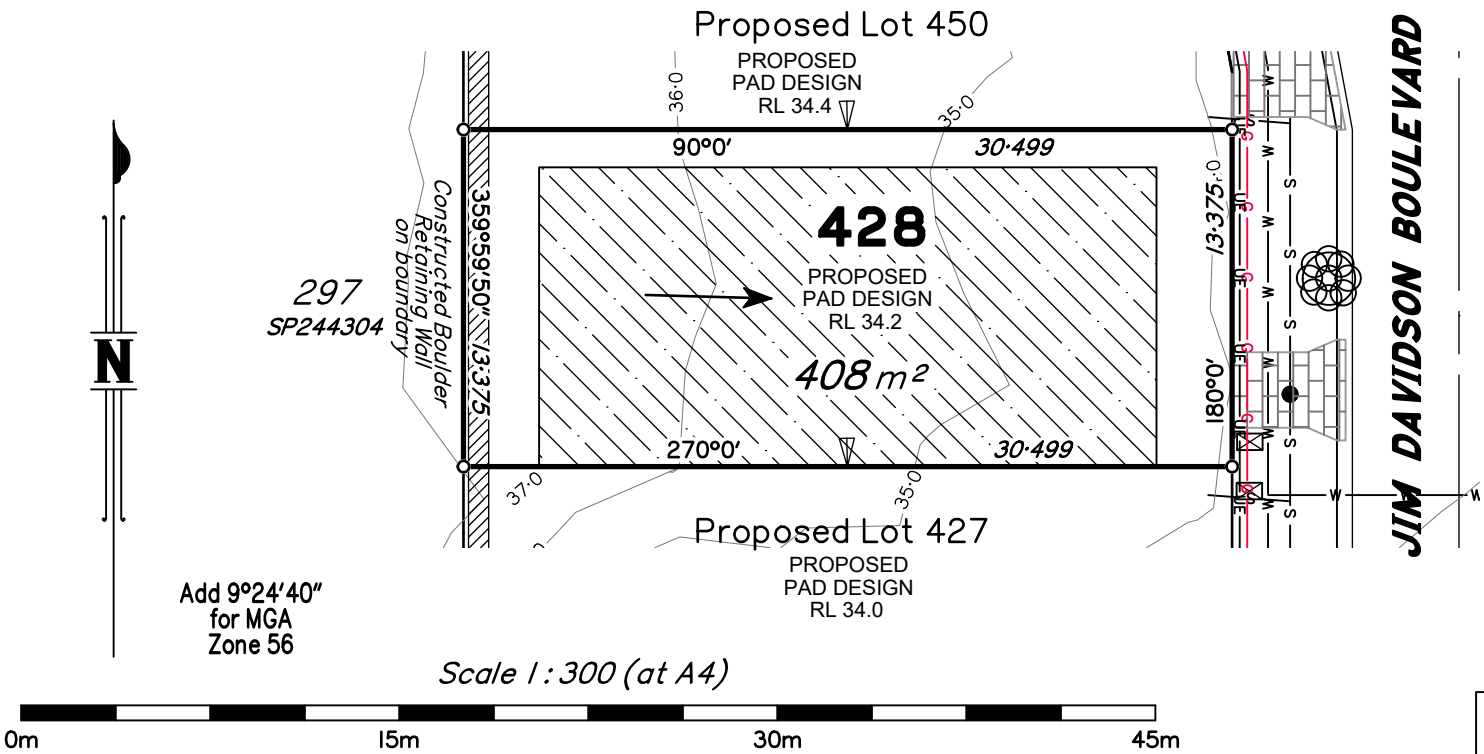
DRAFT

See also SHEET 2 of this drawing which refers to Bldg Envelope

 Sheet 8 Bldg Setbacks



LOCALITY DIAGRAM

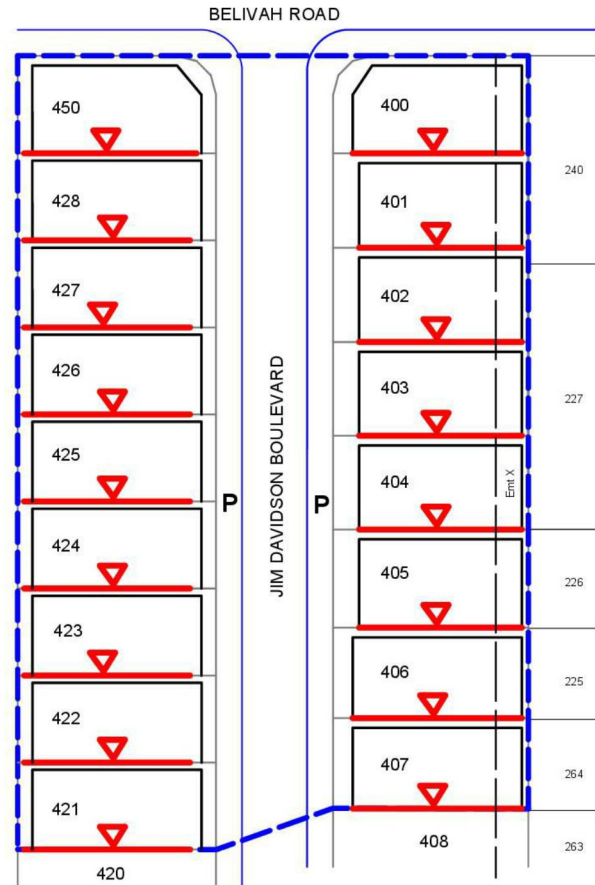


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----------|------------|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

NOTES:
 1. SETBACKS ARE MEASURED TO THE BUILDING WALL.
 2. FRONT SETBACK MAY BE REDUCED 1.5M FOR VERANDAH ENTRY TO PATIO.
 3. SETBACKS TO ALL FRONTAGES ARE REDUCED BY 1.5m FOR A VERANDAH, PORCH, COVERED FIRST FLOOR BALCONY OR ENTRY PORTICO.
 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V1
 - AVAILABLE BUILD AREA MAY BE REDUCED BY EASEMENTS AND OTHER INFRASTRUCTURE



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 BEENLEIGH QLD 4207
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CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

DATE: 26/11/2024
 DRAWN: BD

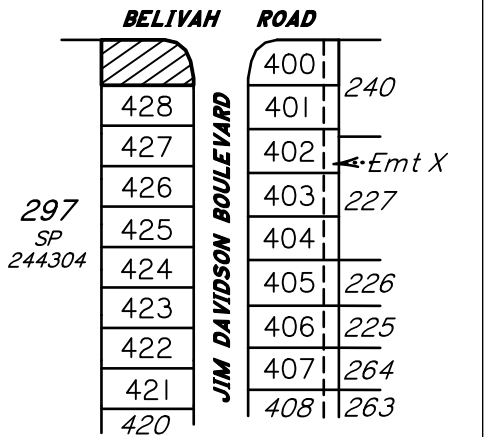
SHEET No. - 8 OF 9
 REVISION. - V1

EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

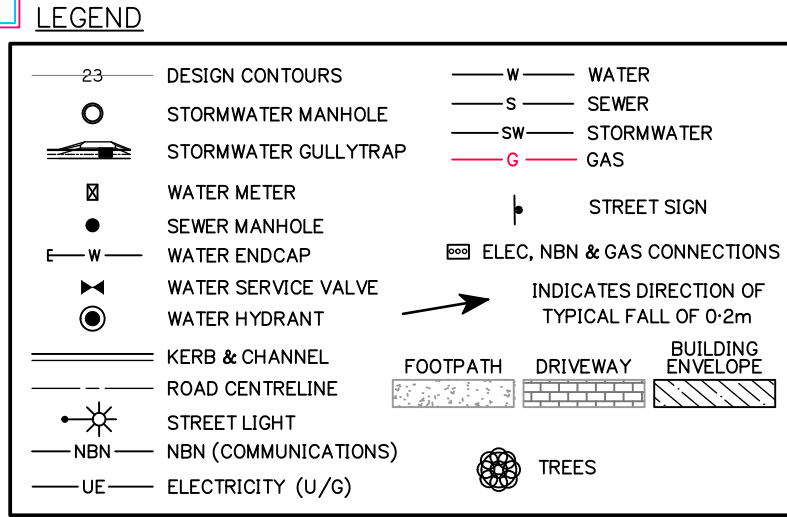
DRAWING NO: BLV019_DP428 SHEET 2 OF 2

DRAFT

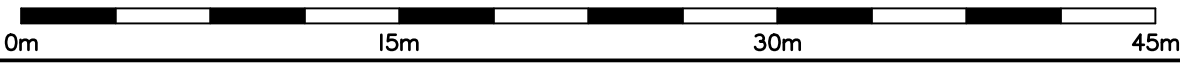
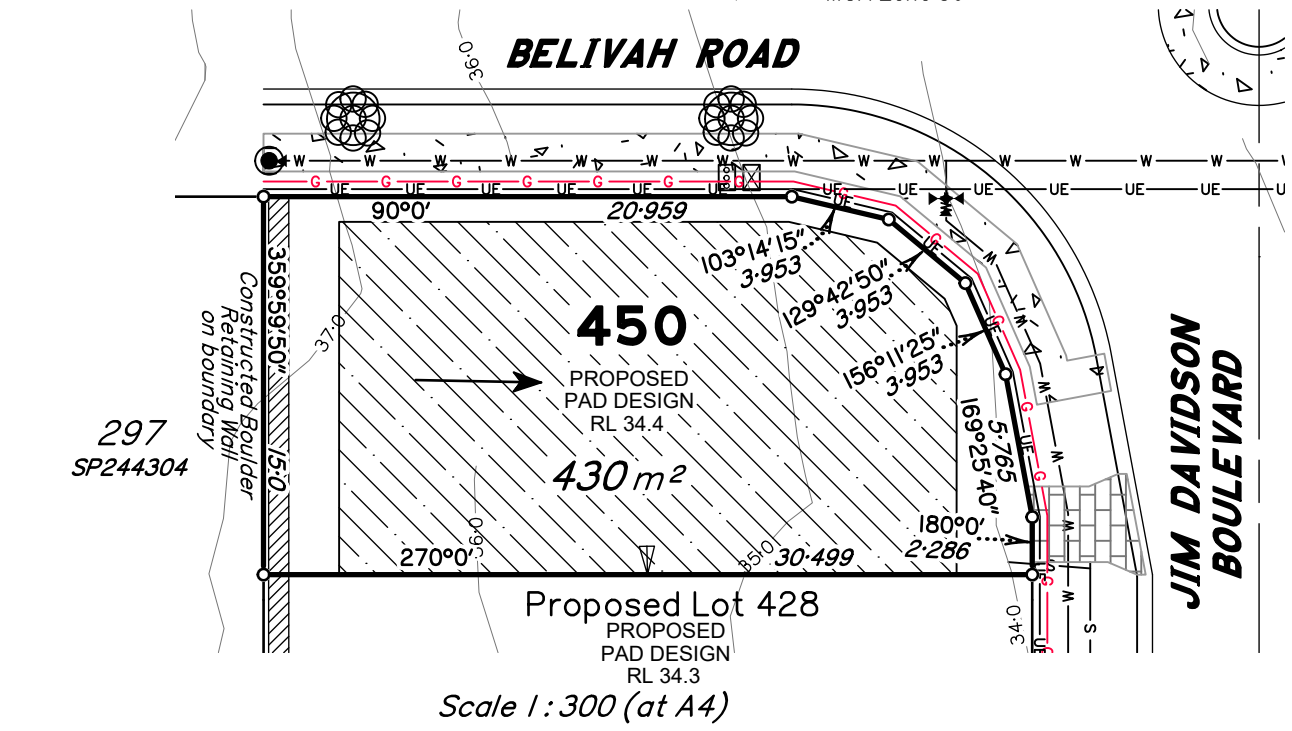


LOCALITY DIAGRAM

See also SHEET 2 of this drawing which refers to Bldg Envelope
.....
Sheet 8 Bldg Setbacks



Add 9°24'40" for MGA Zone 56



DISCLOSURE PLAN
For Lot 450 (on SP290617)
Jim Davidson Boulevard,
Belivah Road
BELIVAH, QLD

Described as Part of Lot 600 on SP290615
Local Authority: LOGAN C.C.
Map Ref: 9542-31411

IMPORTANT NOTES:
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AUTHORISATION:

Neville Henry VOLKER Date: _____
Cadastral Surveyor

| | | | |
|-------------------------|------------|-----------------|---------|
| DATE | 03/06/26 | SURVEYED | - |
| SCALE | 1:300 (A4) | DRAWN | BD25177 |
| LEVEL DATUM | A.H.D | CHECKED | NHV |
| CONTOUR INTERVAL | 0.5m | | |

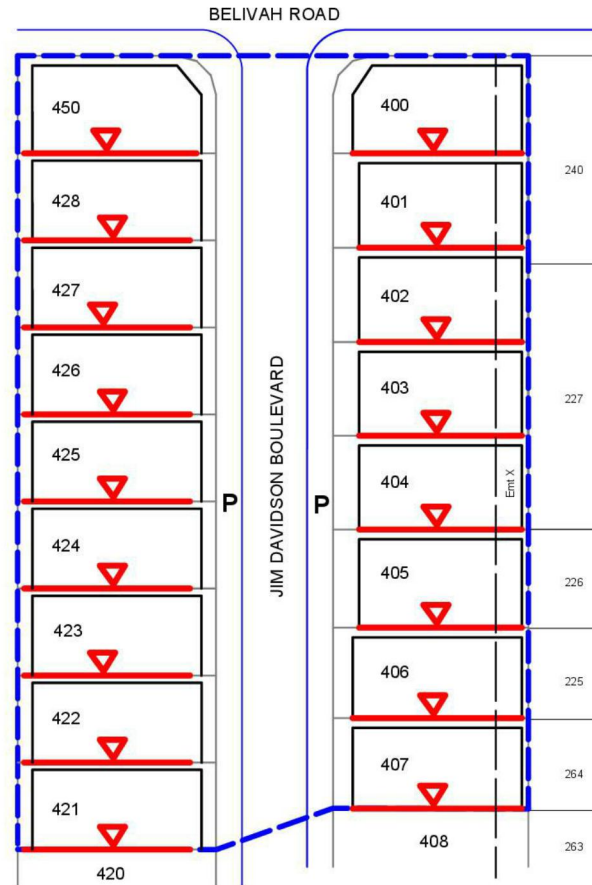


BUILDING ENVELOPE PLAN

DAVIDSONS AT BELIVAH STAGE 4C



SCALE: 1:750 @ A3



| STAGE 4C STATISTICS | | |
|------------------------|-----------|------------|
| LOT SIZE | NO. | % |
| G.T. 500m ² | 0 | 0 |
| 400-500m ² | 16 | 100 |
| 300-400m ² | 0 | 0 |
| L.T. 300m ² | 0 | 0 |
| TOTAL | 16 | 100 |

| STREET SETBACK | SETBACKS (unless notified otherwise) | | | | |
|---------------------|--------------------------------------|-----------|-------|--------|-------|
| | LOT WIDTH | | | | |
| | < 14m | 14m - 20m | | > 20m | |
| | GROUND & UPPER | GROUND | UPPER | GROUND | UPPER |
| PRIMARY STREET | 3m | 4m | 4m | 4.5m | 4.5m |
| SECONDARY STREET | 2m | 2m | 2m | 2m | 2m |
| SIDE & REAR SETBACK | 1m | 1m | 1.5m | 1.5m | 2m |

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 4. GARAGE DOORS ARE TO BE SETBACK 5m FROM THE STREET FRONTAGE

- NO VEHICLE ACCESS
- DEVELOPMENT ENVELOPE
- BUILD TO BOUNDARY
- STAGE BOUNDARY
- P** PRIMARY STREET FRONTAGE

- NOTES:
- THIS SHEET MUST READ IN CONJUNCTION WITH PLAN No. DB-1-CF SHEET 9 V1
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CLIENT: BELIVAH PTY. LTD.

PROPOSED LOTS
400-407 & 421-428 & 450

PROJECT : DAB - STAGES 4C

LOCATION: JIM DAVIDSON BLVD,
 BELIVAH

Job No. - DB-4-ABC

SHEET No. - 8 OF 9
 REVISION. - V1

DATE: 26/11/2024
 DRAWN: BD
 EMAIL: nvolker@bigpond.net.au
 PH: 0411 759 765

Driveway to be constructed to LCC specifications

DRAWING NO: BLV019_DP450 SHEET 2 OF 2