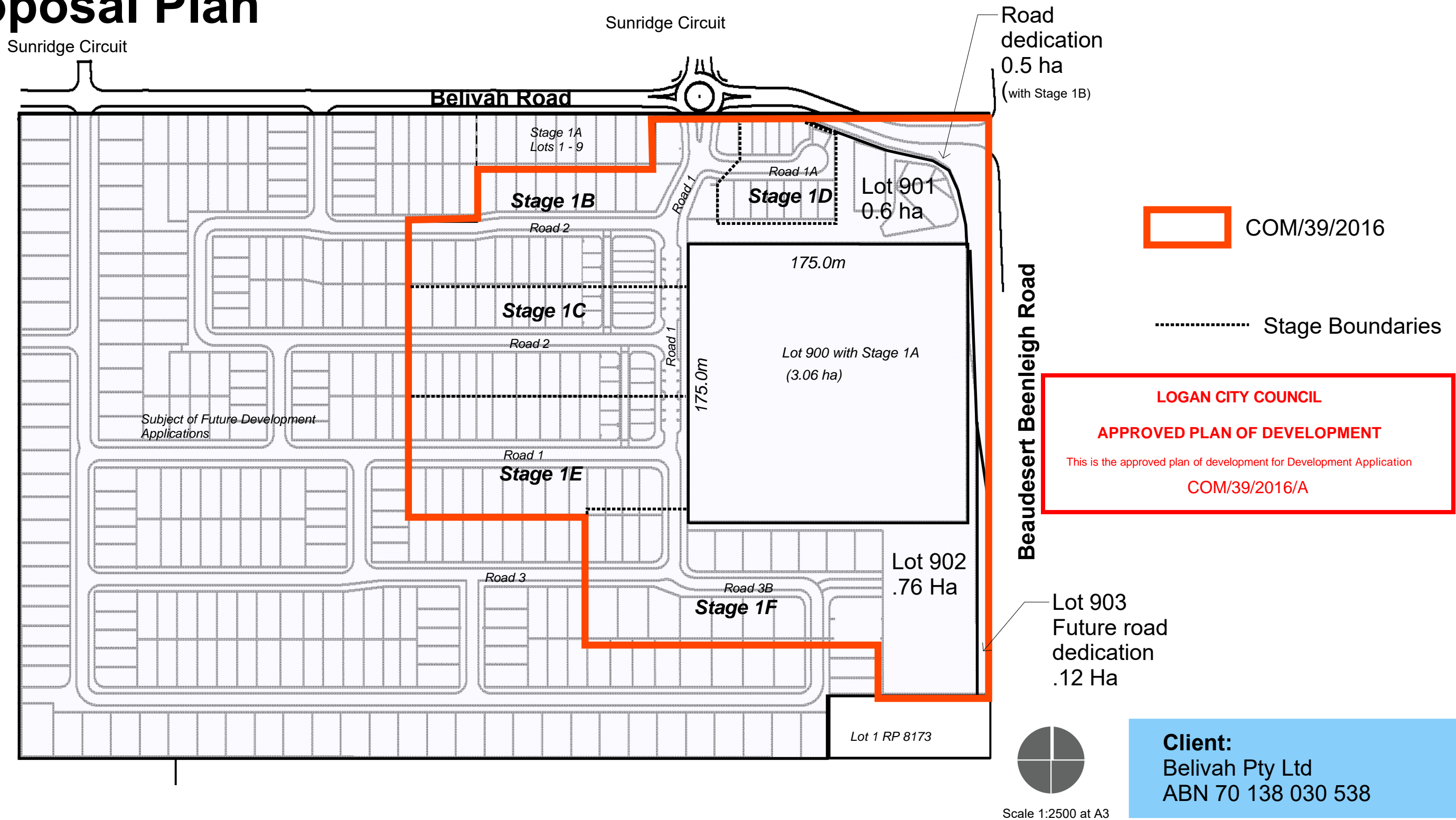


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Precinct 1

**Proposed Lots 10 - 130
& Lots 901 - 903**

Stage 1B - 1F

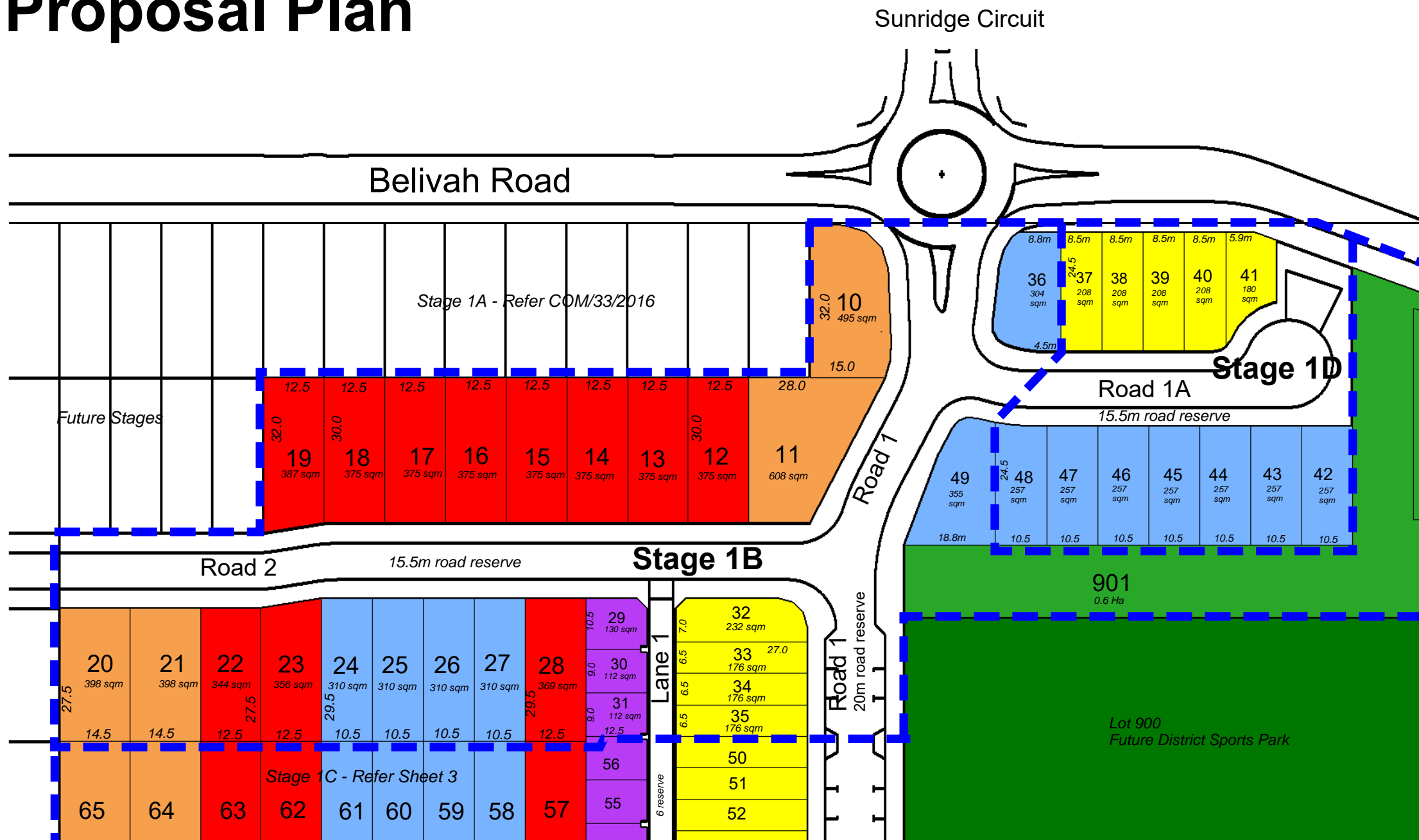
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Stage 1B Statistics

Lot Size	No.	%
G.T. 400 sqm	2	7
300 - 400 sqm	19	68
200 - 299 sqm	1	4
L.T. 200 sqm	6	21
Total	28	100
Development Area (ha)		1.5
Community Area (ha) and TMR		1.1
Length of New Road (m)		30 Lane 300 road

Stage 1D Statistics

Lot Size	No.	%
G.T. 400 sqm	0	0
300 - 400 sqm	0	0
200 - 299 sqm	11	92
L.T. 200 sqm	1	8
Total	12	100
Development Area (ha)		0.5
Community Area (ha)		0
Length of New Road (m)		65 road

--- Stage Boundary

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Scale 1:1000 at A3

Note: Road pavements, car parking bays and indents indicative only and subject to OPW approval

Precinct 1

**Proposed Lots 10 - 49
& 901**

Stage 1B & 1D

Sheet 2 of 11

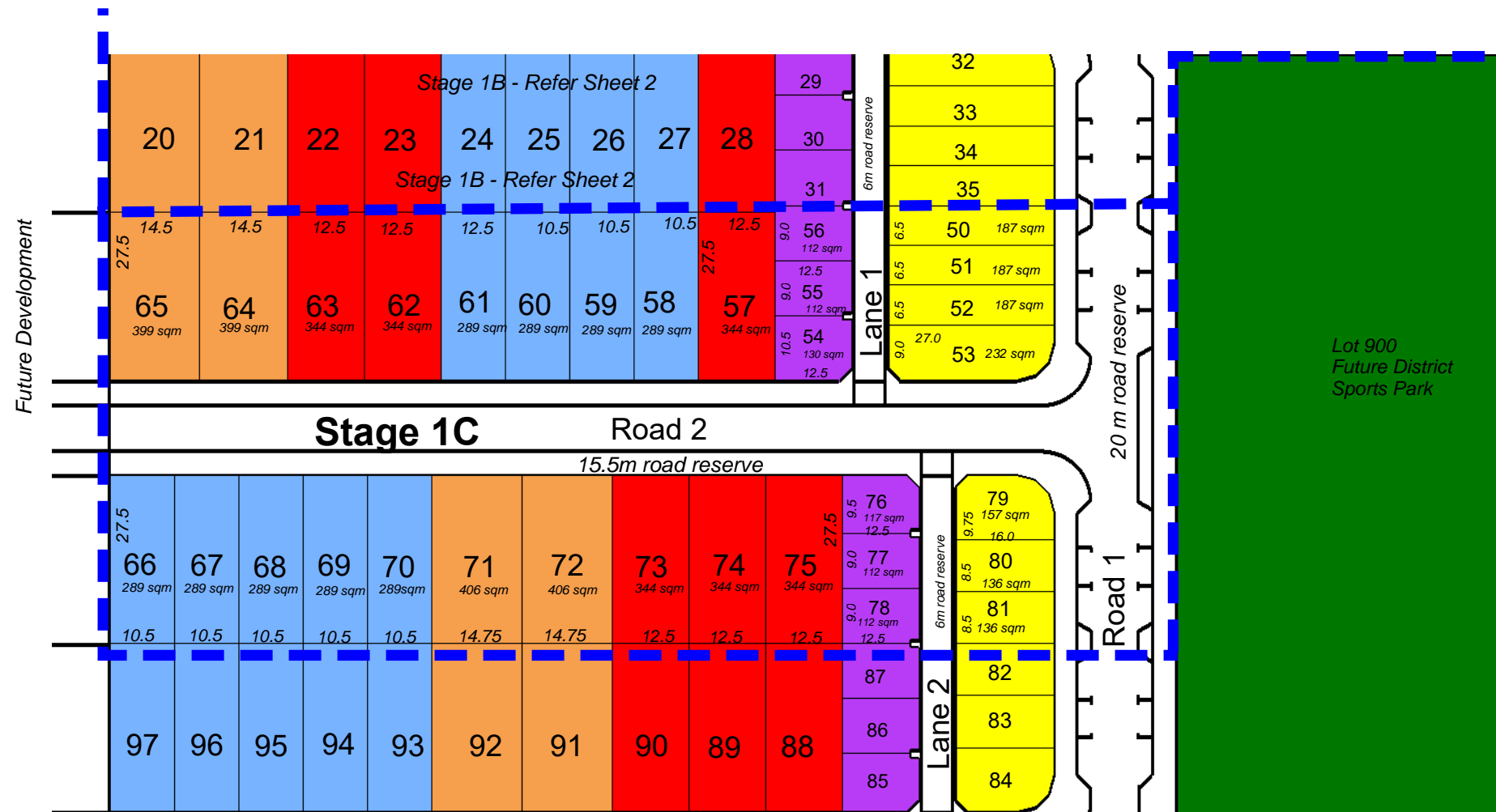
Plan No. DB-P1-CA V6a 23 August 2017

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Stage 1C Statistics

Lot Size	No.	%
G.T. 400 sqm	2	6
300 - 400 sqm	8	25
200 - 299 sqm	10	31
L.T. 200 sqm	12	38
Total	32	100
Development Area (ha)		1.26
Community Area (ha)		0
Length of New Road (m)	30 Lane 233 road	

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Note: Road pavements, car parking bays and indents indicative only and subject to OPW approval



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Stage Boundary

Client:
Belivah Pty Ltd
ABN 70 138 030 538

Precinct 1

Proposed Lots 50 - 81

Stage 1C

Sheet 3 of 11

Plan No. DB-P1-CA V6a 23 August 2017

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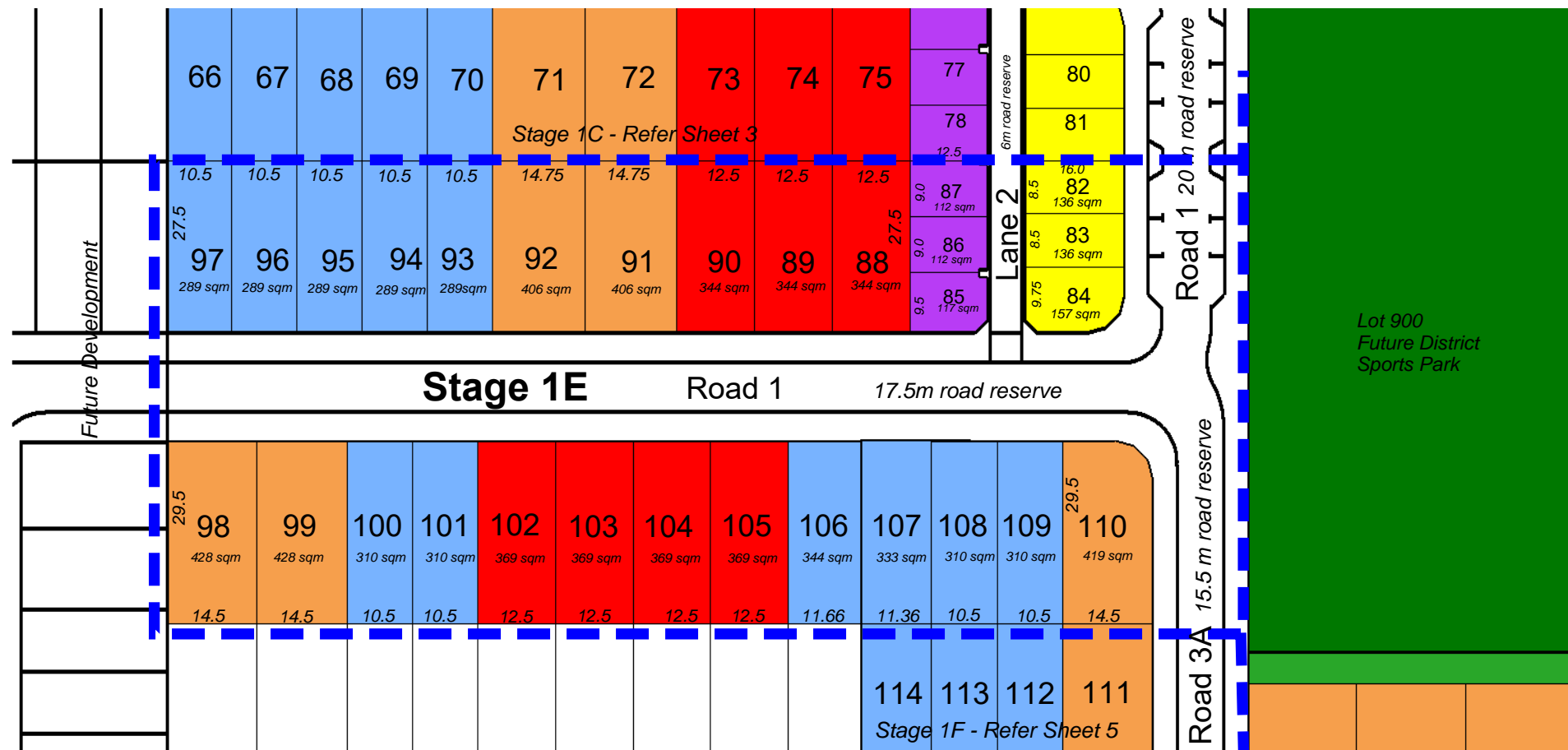


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Stage 1E Statistics

Lot Size	No.	%
G.T. 400 sqm	5	17
300 - 400 sqm	13	45
200 - 299 sqm	5	17
L.T. 200 sqm	6	21
Total	29	100
Development Area (ha)		1.27
Community Area (ha)		0
Length of New Road (m)	30 Lane 225 road	



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Stage Boundary

Client:
Belivah Pty Ltd
ABN 70 138 030 538



Scale 1:1000 at A3

Note: Road pavements, car parking bays and indents indicative only and subject to OPW approval

Precinct 1

Proposed Lots 82 to 110

Stage 1E

Sheet 4 of 11

Plan No. DB-P1-CA V6a 23 August 2017

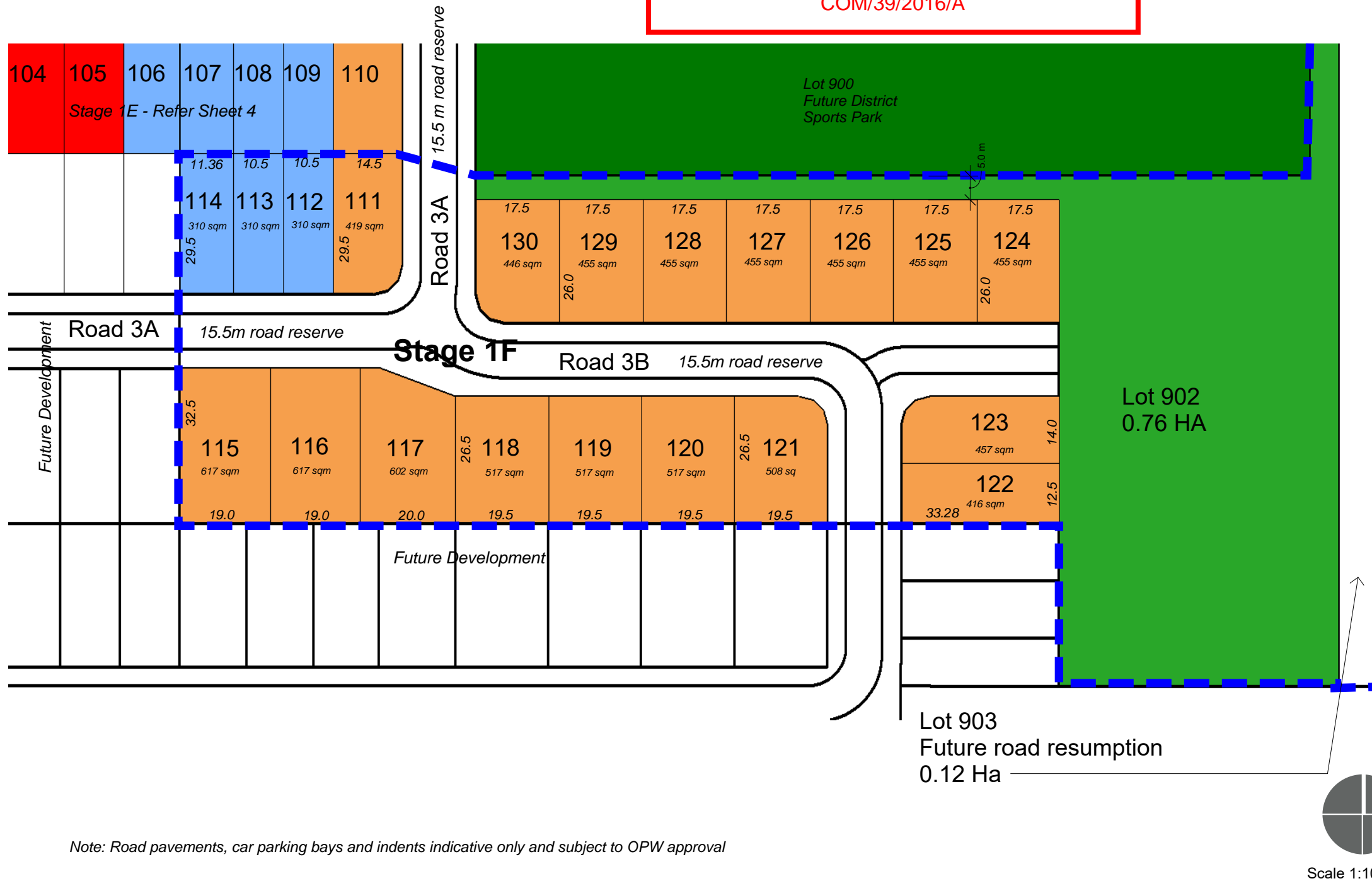
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Note: Road pavements, car parking bays and indents indicative only and subject to OPW approval

Stage 1F Statistics		
Lot Size	No.	%
G.T. 400 sqm	17	85
300 - 400 sqm	3	15
200 - 299 sqm		
L.T. 200 sqm		
Total	20	100
Development Area (ha)		1.35
Community Area (ha)		0.88
Length of New Road (m)		0 Lane 200 road

Stages 1B to 1F Statistics		
Lot Size	No.	%
G.T. 400 sqm	26	21
300 - 400 sqm	47	36
200 - 299 sqm	23	22
L.T. 200 sqm	25	21
Total	121	100
Development Area (ha)		5.88
Community Area (ha)		1.98
Length of New Road (m)		90 Lane 1030 road

--- Stage Boundary

Precinct 1

**Proposed Lots 111 to 130
& 902, 903**

Stage 1F

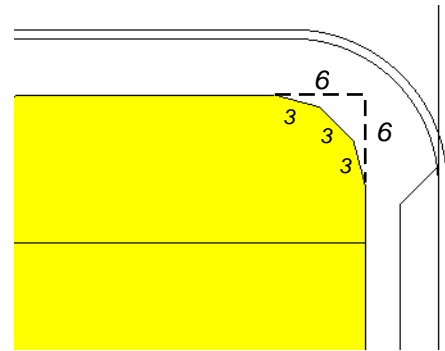
Sheet 5 of 11

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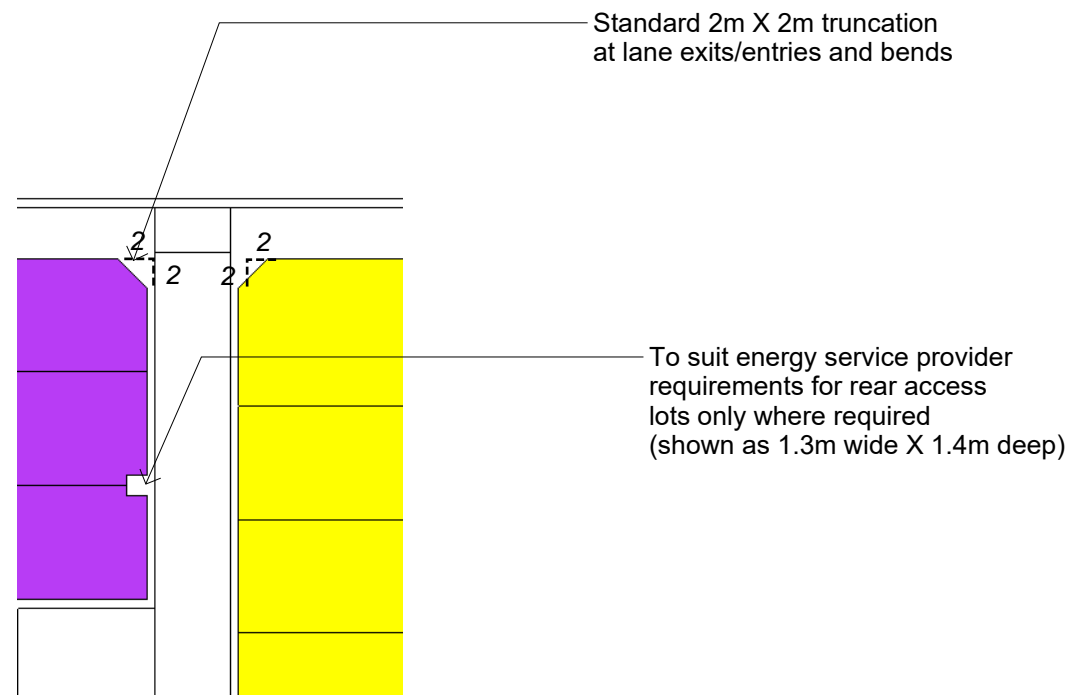


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Standard 3 Chord Truncation



Lane Details 1



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Table 2A Setbacks - D Lots

Setbacks (unless notified otherwise)					
Street Setback	Lot Width				
	< 14m	14m to 20m		>20m	
	Ground & Upper	Ground	Upper	Ground	Upper
Primary Street	3m	4m	4m	4.5m	4.5m
Secondary Street	2m	2m	2m	2m	2m
Side & Rear Setback	1m	1m	1.5m	1.5m	2m

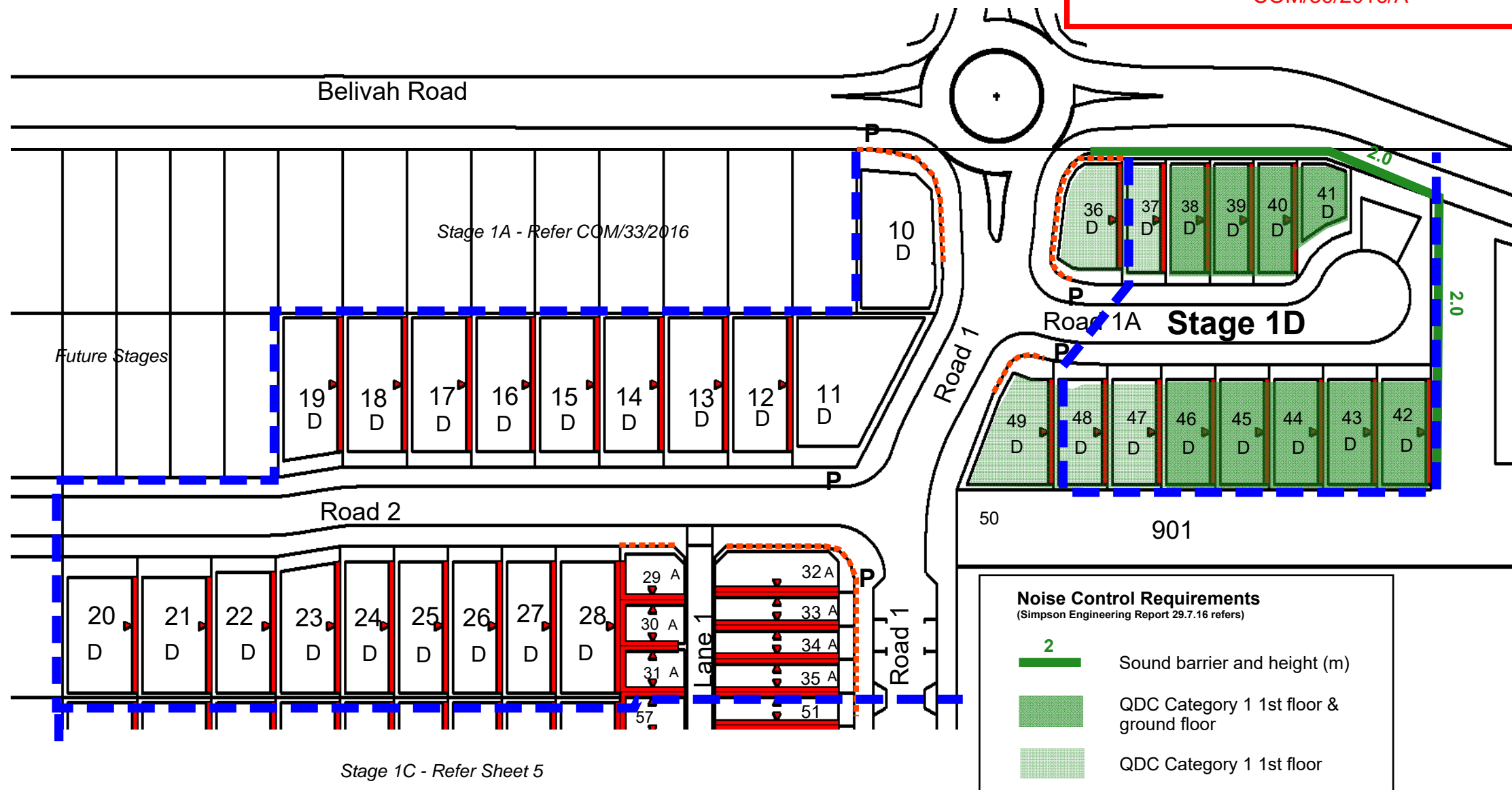
Notes:
1. Front setback may be reduced 1.5m for verandah, entry or patio.

Table 2B Setbacks - A Lots

Setbacks		
Street Setback	Ground	Upper
Primary Street	3m	3m
Secondary Street	1m	1m
Rear Lane	1m	0m
Side & Rear Setback	Ground and Upper, 0m if build to boundary, otherwise 1m	

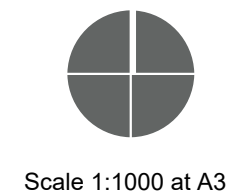
Build to Boundary Refer Table 2 and Figure 2 Sheet 11 for allowable lengths

Client:
Belivah Pty Ltd
ABN 70 138 030 538



Notes:
1. This sheet must be read in conjunction with Plan No. DB-P1-CA V6 20 August 2017 Sheet 11.
2. Available build area may be reduced by easements and other infrastructure.

- Build to Boundary
- Building Envelope
- Stage Boundary
- Primary Street Frontage
- No vehicle access



Precinct 1

Proposed Lots 10 - 49

Stage 1B & 1D

Sheet 7 of 11

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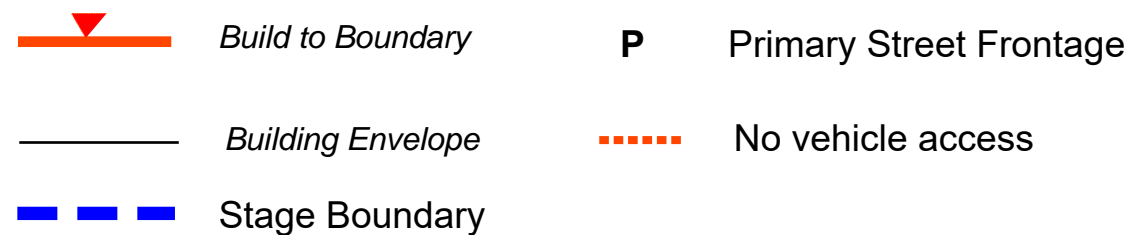
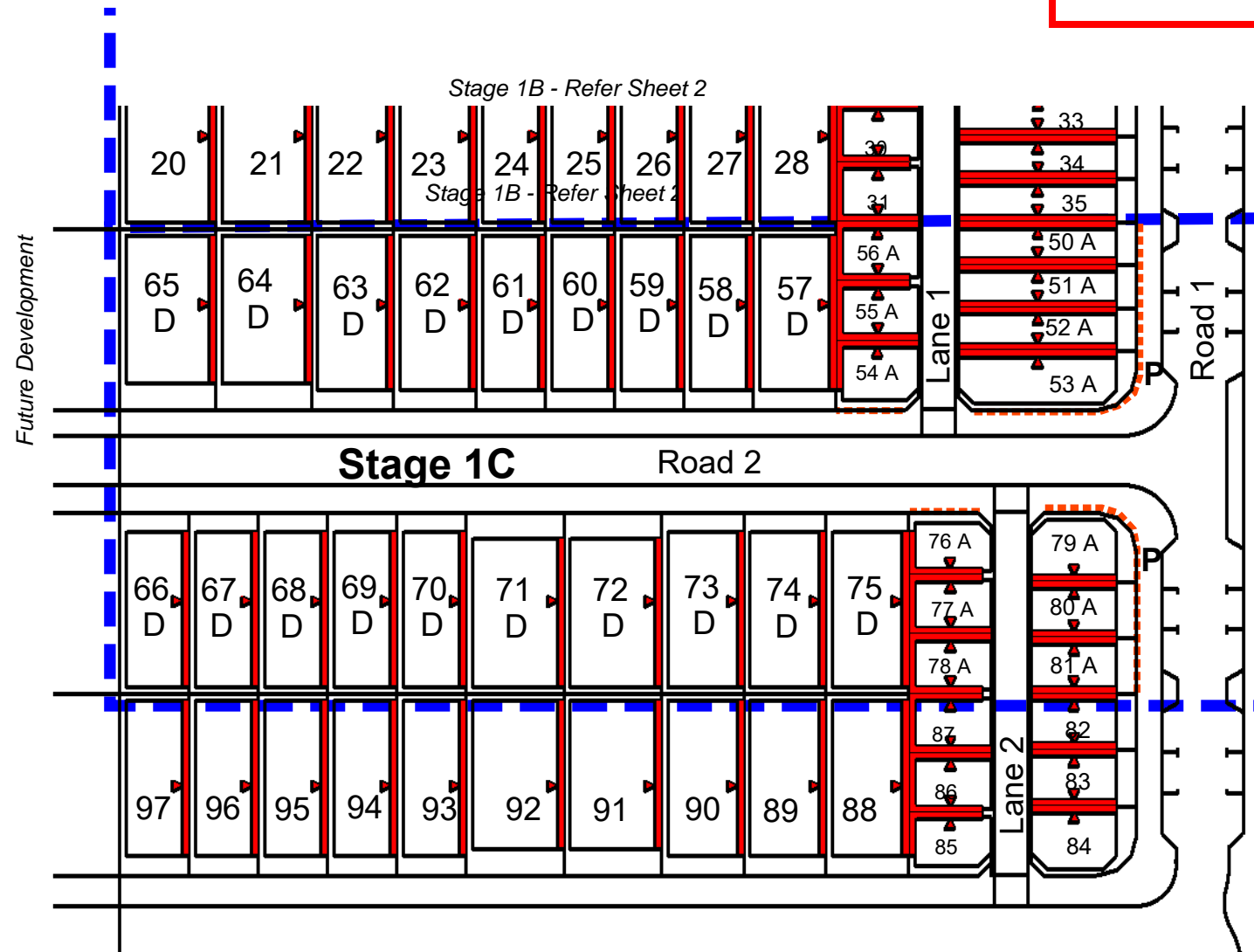
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Notes:
1. This sheet must be read in conjunction with Plan No. DB-P1-CA V6 20 August 2017 Sheet 11.
2. Available build area may be reduced by easements and other infrastructure.

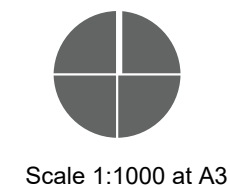


Table 2A Setbacks - D Lots

Setbacks (unless notified otherwise)					
Street Setback	Lot Width				
	< 14m	14m to 20m		>20m	
		Ground & Upper	Ground	Upper	Ground
Primary Street	3m	4m	4m	4.5m	4.5m
Secondary Street	2m	2m	2m	2m	2m
Side & Rear Setback	1m	1m	1.5m	1.5m	2m

Notes:
1. Front setback may be reduced 1.5m for verandah, entry or patio.

Table 2B Setbacks - A Lots

Setbacks		
Street Setback	Ground	Upper
Primary Street	3m	3m
Secondary Street	1m	1m
Rear Lane	1m	0m
Side & Rear Setback	Ground and Upper, 0m if build to boundary, otherwise 1m	

Build to Boundary	Refer Table 2 and Figure 2 Sheet 11 for allowable lengths
--------------------------	---

Client:
Belivah Pty Ltd
ABN 70 138 030 538

Precinct 1

Proposed Lots 50 - 81

Stage 1C

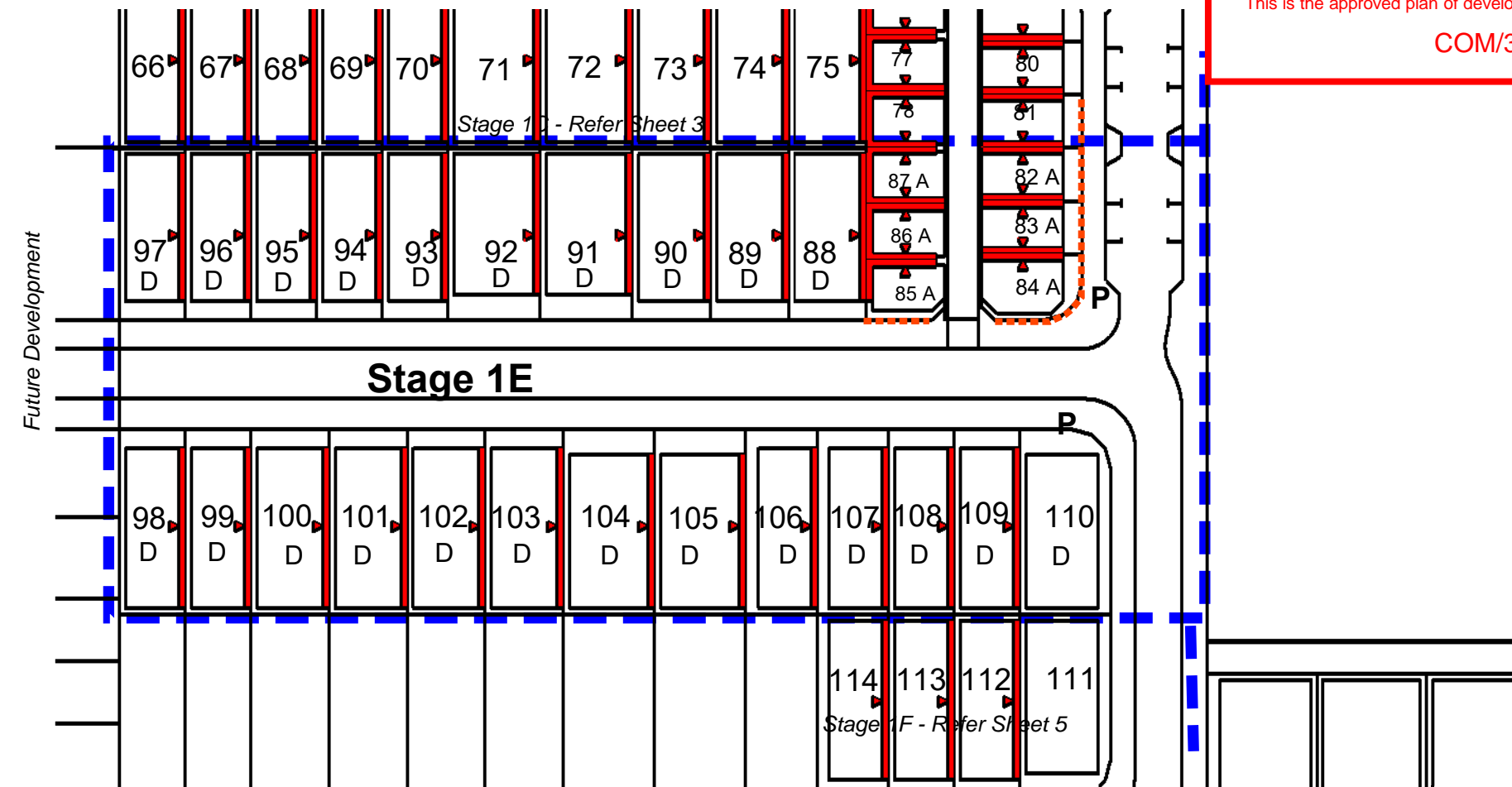
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Table 2A Setbacks - D Lots

Setbacks (unless notified otherwise)					
Street Setback	Lot Width				
	< 14m	14m to 20m		>20m	
	Ground & Upper	Ground	Upper	Ground	Upper
Primary Street	3m	4m	4m	4.5m	4.5m
Secondary Street	2m	2m	2m	2m	2m
Side & Rear Setback	1m	1m	1.5m	1.5m	2m

Notes:
1. Front setback may be reduced 1.5m for verandah, entry or patio.

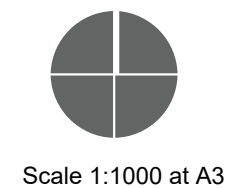
Table 2B Setbacks - A Lots

Setbacks		
Street Setback	Ground	Upper
Primary Street	3m	3m
Secondary Street	1m	1m
Rear Lane	1m	0m
Side & Rear Setback	Ground and Upper, 0m if build to boundary, otherwise 1m	

Build to Boundary Refer Table 2 and Figure 2 Sheet 11 for allowable lengths

Notes:
1. This sheet must be read in conjunction with Plan No. DB-P1-CA V6 20 August 2017 Sheet 11.
2. Available build area may be reduced by easements and other infrastructure.

- Build to Boundary
- Building Envelope
- Stage Boundary
- P** Primary Street Frontage
- No vehicle access



Client:
Belivah Pty Ltd
ABN 70 138 030 538

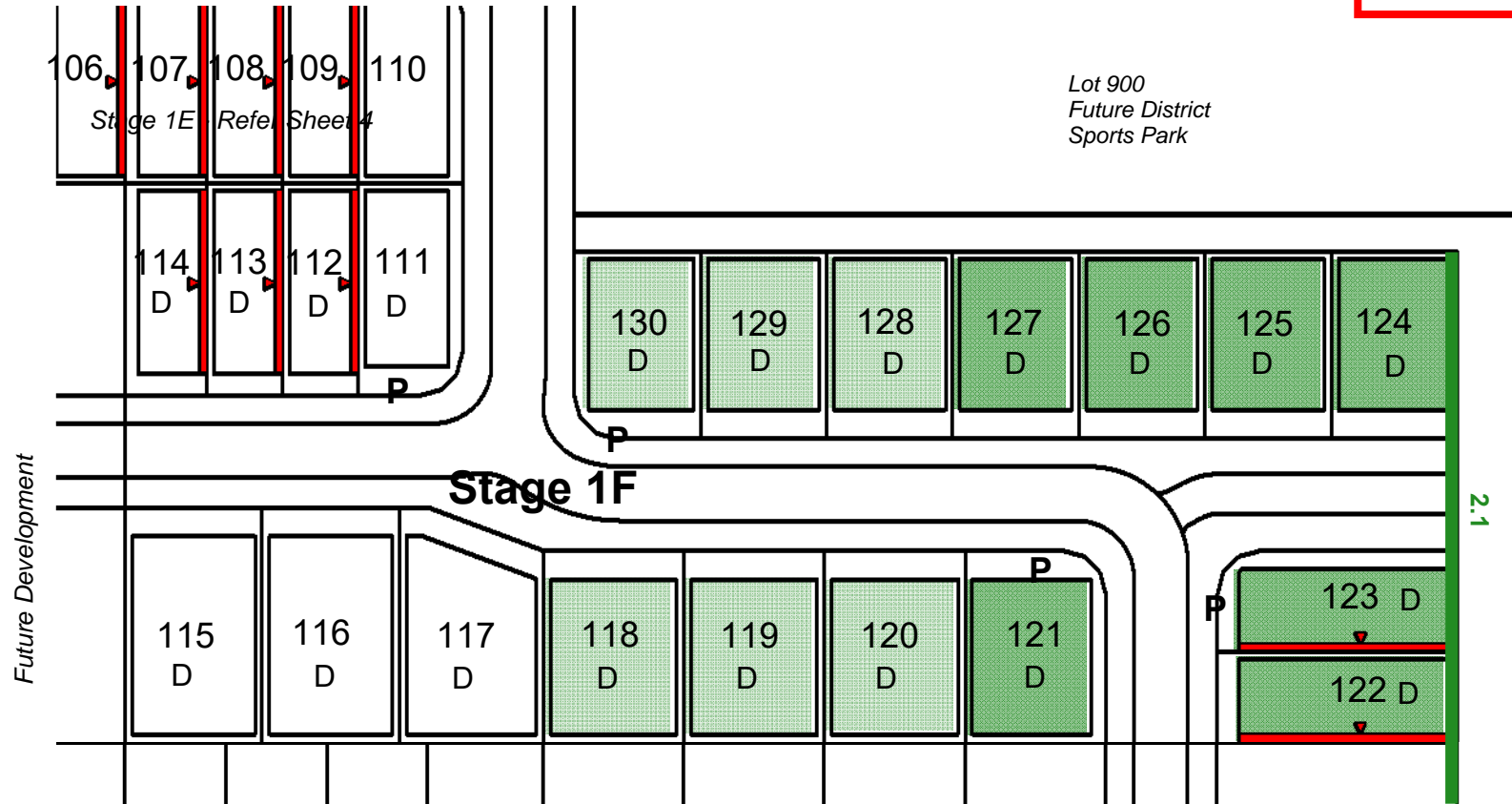
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Noise Control Requirements
(Simpson Engineering Report 29.7.16 refers)

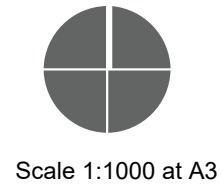
2 Sound barrier and height (m)

QDC Category 1 1st floor & ground floor

QDC Category 1 1st floor

- Build to Boundary
- Building Envelope
- Stage Boundary

- P** Primary Street Frontage
- No vehicle access



Notes:
1. This sheet must be read in conjunction with Plan No. DB-P1-CA V6 20 August 2017 Sheet 11.
2. Available build area may be reduced by easements and other infrastructure.

Table 2A Setbacks - D Lots

Setbacks (unless notified otherwise)					
Street Setback	Lot Width				
	< 14m		14m to 20m		>20m
	Ground & Upper	Ground	Upper	Ground	Upper
Primary Street	3m	4m	4m	4.5m	4.5m
Secondary Street	2m	2m	2m	2m	2m
Side & Rear Setback	1m	1m	1.5m	1.5m	2m

Notes:
1. Front setback may be reduced 1.5m for verandah, entry or patio.

Table 2B Setbacks - A Lots

Setbacks		
Street Setback	Ground	Upper
Primary Street	3m	3m
Secondary Street	1m	1m
Rear Lane	1m	0m
Side & Rear Setback	Ground and Upper, 0m if build to boundary, otherwise 1m	

Build to Boundary Refer Table 2 and Figure 2 Sheet 11 for allowable lengths

Client:
Belivah Pty Ltd
ABN 70 138 030 538

Development Criteria

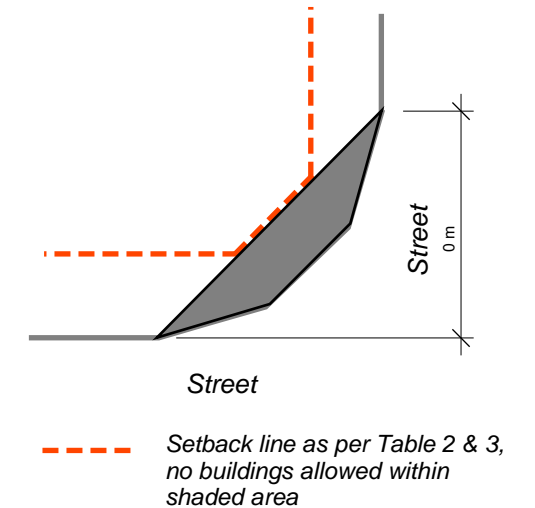
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Figure 1 Setbacks on Corners



1.0 Building Height

1.1 Development has a maximum building height of 2 storeys

2.0 Site Cover

2.1 Development does not exceed the site cover in Table 1 on this sheet.

3.0 Setbacks

3.1 Development complies with the setbacks in Table 2A and Table 2B on each Stage Building Envelope Sheet and Figure 2 on this sheet.

4.0 Build to Boundary Walls

4.1 Development ensures that built to boundary walls should not exceed the lesser of 25m or the length indicated in Table 2 and Figure 2 on this sheet.

5.0 Dwelling Entry

5.1 Development results in the entry to the dwelling house being covered, lit and visible from the street.

5.2 Development results in the dwelling house having windows to habitable rooms or balconies on the façades facing the street

6.0 Car Parking

6.1 Development provides a minimum number of on-site car parking spaces comprising:

- (a) Each dwelling (3 or more bedrooms) must be provided with two car parks one of which must be under cover (e.g. carport or garage).
- (b) One or two bedroom dwellings must be provided with one undercover car park;
- and
- (c) 0.25 visitor spaces per dwelling for multiple dwellings (other than multiple dwellings comprising only three or four dwellings).

6.2 Minimum dimensions for single parking provision are:

- uncovered space 2.6m wide x 4.9m;
- Carport 3m wide x 5m;
- Garage 3m wide x 6m and

6.3 Minimum dimensions for double covered parking provision are:

- Double carport 5.5m wide x 5m;
- Double garage 6m x 5.7m wide internally

6.4 Car parking spaces may be in tandem, provided one space is behind the road setback required

7.0 Private Open Space

7.1 Lots greater than 300m²
Development provides private open space which is:
▫ a minimum of 25 m² and
▫ a minimum dimension of 4.0 m

7.2 Lots less than or equal to 300sqm²
Development provides private open space which is:
▫ a minimum of 6% of the area of the lot
▫ a minimum dimension of 3.0m

7.3 Private open space should have a maximum gradient not exceeding 1:10 and

7.4 May be provided by way of balconies where the living areas are on the first floor with a minimum area of 6 m² and minimum dimension of 1.5m.

8.0 Privacy

8.1 Windows to habitable rooms of a dwelling house are separated a minimum of 2m at ground level or 9m above ground level to habitable rooms of another dwelling.

8.2 Where windows to habitable rooms of a dwelling are within 2m at ground level or 9m above ground level to habitable rooms of another dwelling, development incorporates windows that:

- Are offset from another window of a habitable room in an adjacent dwelling to minimise direct overlooking; or
- Have sill heights of 1.5m above floor level; or
- Are covered by fixed obscure glazing in any part of the window below 1.5m above floor level
- Have fixed external screens
- In the case of screening for a ground floor level, fencing to a height of 1.5m above ground floor level.

8.3 Development that results in a direct view from balconies, terraces decks or roof decks into windows of habitable rooms, balconies, terraces and decks in an adjacent dwelling, ensures that the view is screened from floor level to a height of 1.5m above floor level.

8.4 Where screening is used, it:

- is a solid translucent window or screen; or
- perforated or slated panels; or
- a fixed louvre, translucent window or screen which has a maximum 25% opening; and
- is permanently fixed, durable and designed to complement the development.

9.0 Fencing

9.1 Development ensures that the height of a new fence on a street frontage is a maximum of:
(i) 1.2m, where fence construction is solid or less than 50% transparent; or
(ii) 1.5m, where fence construction is at least 50% transparent; or
(iii) 1.5m and solid where it surrounds the dwelling's private open space area
(iv) 1.8m and solid, where the site is on an arterial road; or

(v) no fencing is provided or

(vi) fences or walls with less than 25% transparency do not exceed 10 metres in length without some articulation or detailing to provide visual interest

10.0 Refuse Storage

10.1 One refuse bin store area with a minimum size of 1.7m X .9m and screened from the street is to be provided per lot.

Table 1 Site Cover

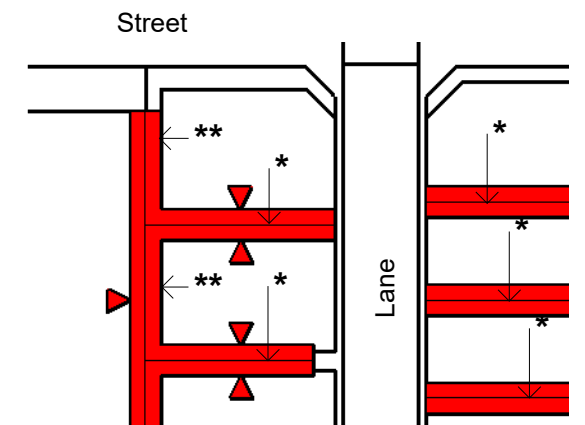
Site Cover (by lot size)		
<200 sqm	200 - <300 sqm	300+ sqm
80%	160 sqm or 70% of the site area, whichever is the greater	210 sqm or 60% of the site area, whichever is the greater

Table 2 Build to Boundary Walls

Lot width (m)	<7.5m	7.5m<10m	10m<12.5	12.5m+
Combined wall length as % of boundary	80%	75%	70%	60%

Note: Refer to Figure 2 for build to boundary wall criteria for rear lane A lots.

Figure 2 Build to Boundary Walls - A lots



* 100% of boundary length at ground and upper level, except for required lane setback

** 60% of boundary length at ground level, zero at upper level. For corner lane lots, not to extend beyond adjoining lot front setback

Client:

Belivah Pty Ltd

ABN 70 138 030 538